

REZONING STAFF REPORT

Date: June 5, 2003

APPLICANT NAME

William Hightower

LOCATION

205 S University Boulevard

PRESENT ZONING

R-1, Single-Family Residential

PROPOSED ZONING

LB-2, Limited Neighborhood Business

AREA OF PROPERTY

15,000 sq.ft.

CONTEMPLATED USE

Service Business Offices

It should be noted, however, that any use permitted in the proposed district would be allowed at this location if the zoning is changed. Furthermore, the Planning Commission may consider zoning classifications other than that sought by the applicant for this property.

TIME SCHEDULE

Immediate

ENGINEERING

COMMENTS

Must comply with all stormwater and flood control ordinances. Any work performed in the right of way will require a right of way permit.

TRAFFIC ENGINEERING

COMMENTS

Driveway number, sizes, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

REMARKS

The applicant is proposing use of the site in question as a “service business office (insurance company, CPA, attorney, etc).” The existing residential structure would be used and a parking facility added.

This area is shown on the General Land Use component of the Comprehensive Plan as residential. However, the Comprehensive Plan is meant to be a general guide, not a detailed lot and district plan or mandate for development. The Planning Commission and City Council may consider individual cases based on additional information such as the classification requested, the surrounding development, the timing of the request and the appropriateness and compatibility of the proposed use and zoning classification.

While the site is adjacent to an existing B-2 district, it is located within an existing residential subdivision and would constitute an encroachment into the residential area. In addition, access to the site is via the University Boulevard service road, which is primarily used by these residential properties.

Additionally, an application for B-1 was recently considered by the Planning Commission (August 2002) for a similarly situated property across University Boulevard. That application was denied.

In this instance, the applicant is requesting LB-2 zoning, with no specific use proposed. In addition the potential uses listed are actually B-1 uses; therefore, the request would be considered both speculative and for a more intense classification than required for potential proposed uses.

RECOMMENDATION

application be denied.

Based on the preceding, it is recommended that this

LOCATOR MAP



APPLICATION NUMBER 5 DATE June 5, 2003

APPLICANT William Hightower

REQUEST Rezoning from R-1 to LB-2



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



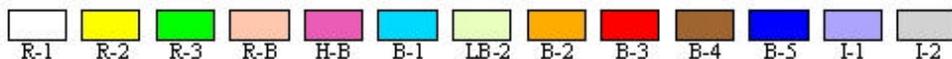
Located to the west and south of the site are commercial sites. The site is surrounded by single-family residential units.

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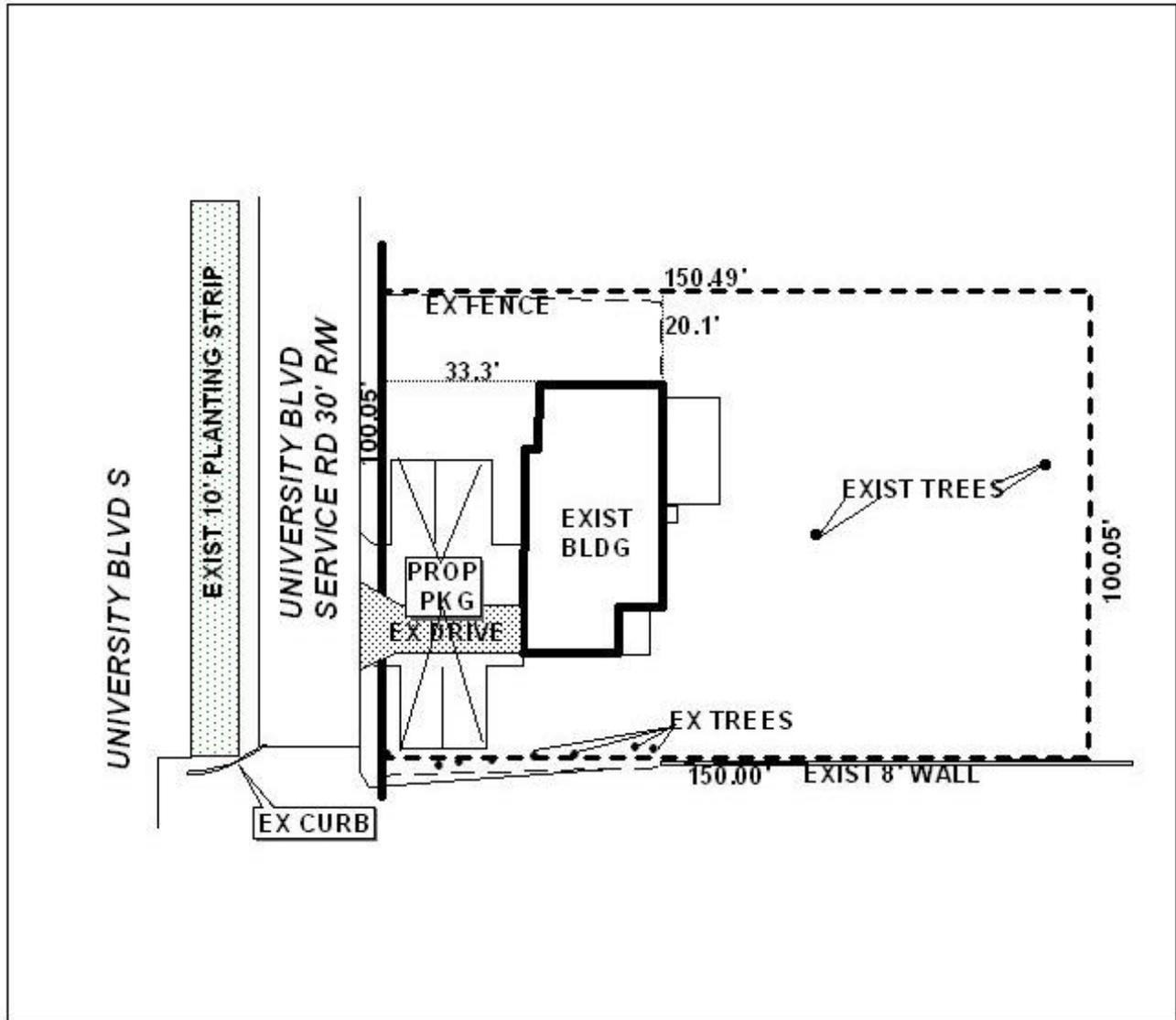
LEGEND



NTS



SITE PLAN



East side of South University Boulevard, 100' South of Sunset drive South, the site plan illustrates the existing buildings, setbacks, and trees, along with the proposed parking.

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USE/REQUEST Rezoning from R-1 to LB-2



NTS