

**WESTMINSTER PLACE SUBDIVISION,**  
**RESUBDIVISION OF LOT 4 OF THE RESUBDIVISION OF**  
**LOTS 3 & 4**

Engineering Comments:

The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Correct the street name - Border Dr. E., and show existing house and edge of road on Old Shell Rd.
- C. Label the POB and POC listed in the written legal description.
- D. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- E. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- F. Add a note to the SUBDIVISION PLAT stating the lots will be allowed to add the following amount of impervious area before storm water detention is required: LOT 1 - NONE, LOT 2 – NONE.
- G. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- H. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved.
- I. Remove all references to the Mobile County Engineering Dept.
- J. Provide a copy of the FINAL PLAT to the Engineering Dept. for review prior to obtaining any signatures.
- K. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.

Traffic Engineering Comments: Each lot is limited to no more than one curb cut, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).

MAWSS Comments: MAWSS has water and sewer services available, but a Capacity Assurance application for additional sewer service has not been applied for. MAWSS cannot guarantee additional sewer service until a Capacity application is approved by Volkert Engineering Inc.

The preliminary plat illustrates the proposed 2-lot, 0.5± acre subdivision which is located on the North side of Old Shell Road at the North terminus of Westminster Way, and is in Council District 7. The applicant states that the subdivision is served by city water and sewer.

The purpose of this application is to subdivide an existing lot, created in 1998, into 2 separate lots.

In accordance with the Subdivision Regulations, the proposed lots are compliant with the minimum size requirements. The lot size information and minimum building setback line is illustrated on the preliminary plat and should be retained on the Final Plat, if approved.

The site has frontage along Old Shell Road, an adjacent portion of which is a major street as defined by the Major Street Plan component of the Comprehensive Plan. During the 1998 Subdivision process, it was determined that no dedication or setback adjustments would be required for this lot.

Proposed Lot 1 is already developed and has one existing curb-cut to Old Shell Road. Lot 2 should be limited to one curb-cut to Old Shell Road, with the size, design and location of any new curb-cut, or changes to the existing curb-cut, to be approved by Traffic Engineering and conform to AASHTO standards. A note should be placed on the Final Plat regarding these requirements, if approved.

The preliminary plat does not indicate the location of the existing curb-cut or development, thus staff cannot determine if the existing house and driveway are fully within the proposed Lot 1. Also, proposed Lot 2 will be triangular in shape and, as proposed, may create a challenging site for new home construction once all applicable setbacks are taken into consideration. Staff has calculated that the buildable area within the depicted setbacks would allow a building to cover 31% of the site, less than the 35% maximum allowed by the Zoning Ordinance. It should also be noted that the side and rear setbacks depicted on the preliminary plat should not be shown on the Final Plat, as there are no side or rear setback requirements in the Subdivision Regulations.

Based upon the preceding, the application is recommended for tentative approval, subject to the following conditions:

- 1) Retention of the lot size information and the minimum building setback line on the Final Plat;
- 2) Removal of the side and rear setbacks from the Final Plat;
- 3) Placement of a note on the Final Plat stating that Lot 1 is limited to the existing curb-cut to Old Shell Road, with any changes to the size, design and location to be approved by Traffic Engineering and conform to AASHTO standards;

- 4) Placement of a note on the Final Plat stating that Lot 2 is limited to one curb-cut to Old Shell Road, with the size, design and location to be approved by Traffic Engineering and conform to AASHTO standards;
- 5) Compliance with Engineering Comments (*The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:*  
*A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. B. Correct the street name - Border Dr. E., and show existing house and edge of road on Old Shell Rd. C. Label the POB and POC listed in the written legal description. D. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. E. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. F. Add a note to the SUBDIVISION PLAT stating the lots will be allowed to add the following amount of impervious area before storm water detention is required: LOT 1 - NONE, LOT 2 – NONE. G. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. H. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved. I. Remove all references to the Mobile County Engineering Dept. J. Provide a copy of the FINAL PLAT to the Engineering Dept. for review prior to obtaining any signatures. K. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.);*
- 6) Compliance with Traffic Engineering Comments (*Each lot is limited to no more than one curb cut, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards*);
- 7) Compliance with Urban Forestry Comments (*Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).); and*
- 8) Compliance with Fire Department Comments (*All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).).*

# LOCATOR MAP



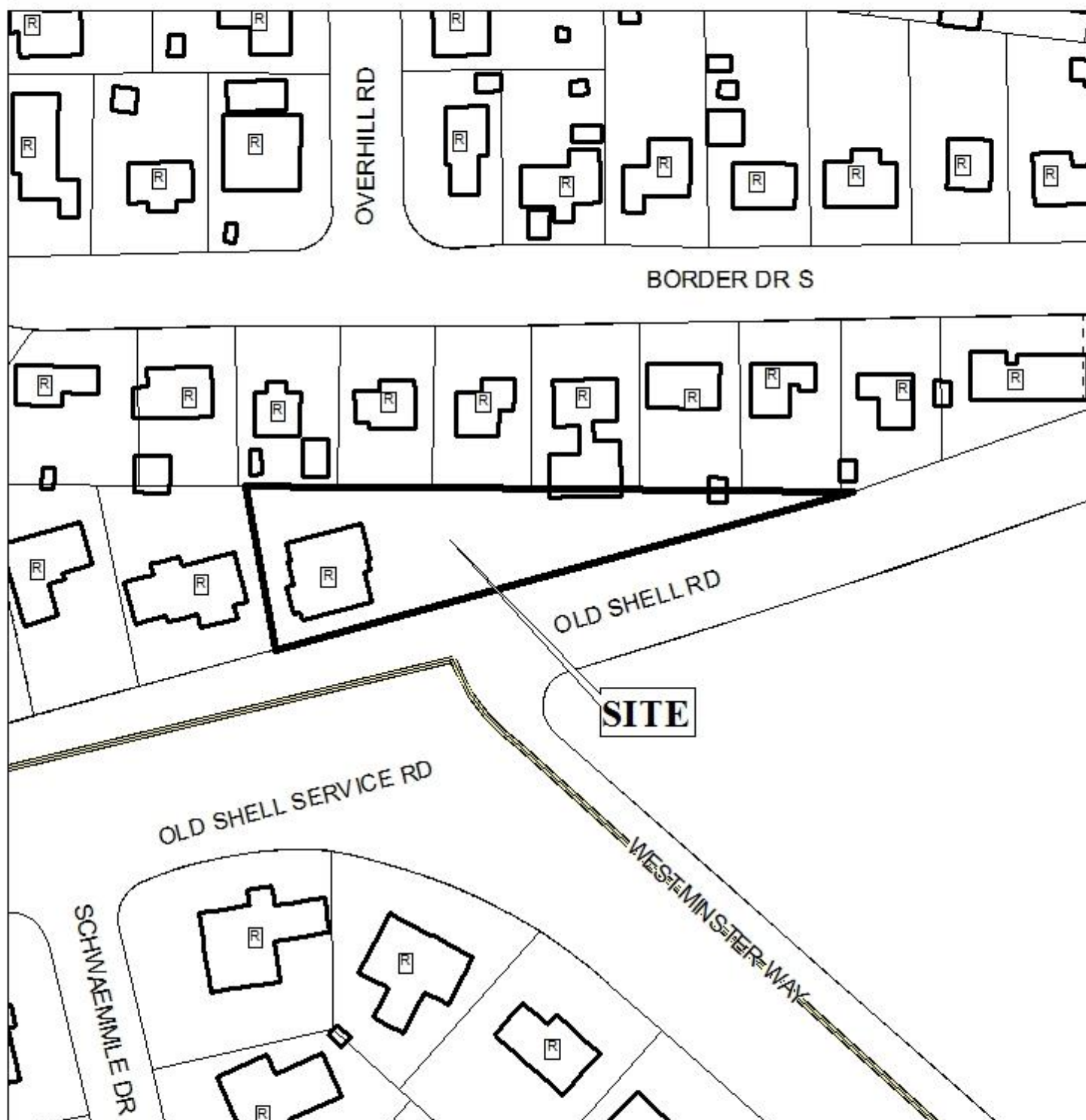
APPLICATION NUMBER 5 DATE November 19, 2015

APPLICANT Westminister Place Subdivision Resubdivision of Lot 4 of the Resubdivision of Lots 3 & 4

REQUEST Subdivision



# WESTMINSTER PLACE SUBDIVISION RESUBDIVISION OF LOT 4 OF THE RESUBDIVISION OF LOTS 3 & 4



APPLICATION NUMBER 5 DATE November 19, 2015

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6





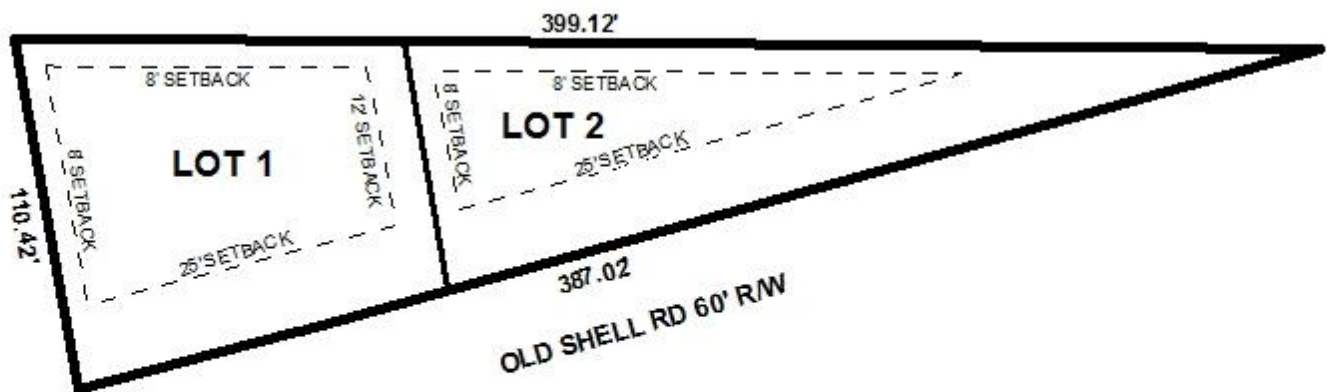
**WESTMINSTER PLACE SUBDIVISION RESUBDIVISION  
OF LOT 4 OF THE RESUBDIVISION OF LOTS 3 & 4**



APPLICATION NUMBER 5 DATE November 19, 2015



## DETAIL SITE PLAN



APPLICATION NUMBER 5 DATE November 19, 2015  
APPLICANT Westminister Place Subdivision Resubdivision of Lot 4 of the Resubdivision of Lots 3 & 4  
REQUEST Subdivision

