

TOWN AND COUNTRY ESTATES SUBDIVISION, RESUBDIVISION OF LOT 13, 14, AND 15 BLOCK N

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire-Rescue Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile. As per Appendix D, Section D107.1, one and two family developments with more than 30 dwelling units shall be provided with separate and approved fire apparatus access roads and shall meet the requirements of Section D104.3.

MAWSS Comments: MAWSS has only sewer services available, but a Capacity Assurance application for sewer services has not been applied for. MAWSS cannot guarantee sewer service until the Capacity application is approved by Volkert Engineering Inc.

The preliminary plat illustrates the proposed 2-lot, 1.3 ± acre subdivision which is located on the South side of Mardanne Drive 2/10± mile West of Bellingrath Road. The site is within the Planning Jurisdiction and the applicant states that the subdivision is served by public water and sewer.

The purpose of this application is to create 2 legal lots of record from three legal lots of record.

The proposed lots front Mardanne Drive, a paved minor street without curb and gutter. Mardanne Drive requires a 60' wide right-of-way width. The preliminary plat should depict the existing right-of-way width to be 60' with dedication sufficient to provide 30' from the centerline.

The site currently consists of two lots that contain what appears to be a dwelling unit on each, and a third lot that contains a private driveway leading to an adjacent R.V. Park. The applicant is requesting that the three lots be combined into two lots.

As a means of access management, a note should be placed on the Final Plat stating that the proposed Lot 1 should be limited to the existing curb-cut to Mardanne Drive, and that the proposed Lot 2 is limited to only 1 curb-cut to Mardanne Drive, with the size, design and location of the new curb-cut, and any changes to the existing curb-cut, are to be approved by Mobile County Engineering and conform to AASHTO standards.

In accordance with the Subdivision Regulations, both proposed lots appear to exceed the minimum lot size requirements; however, the lot size information should be revised to include both acres and square feet on the Final Plat, if approved.

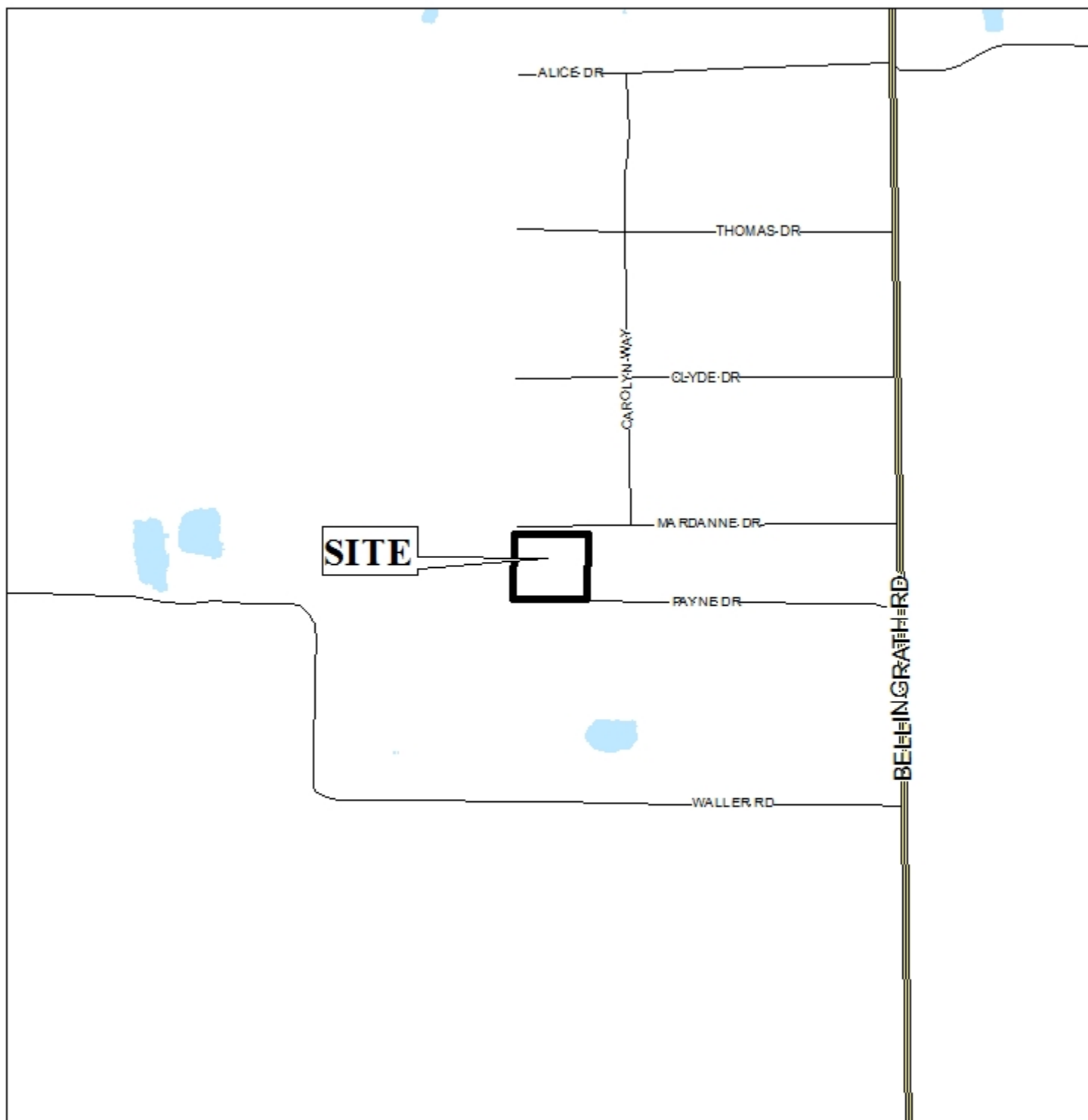
The 25' minimum building setback line is also depicted on the preliminary plat, and should be retained on the Final Plat, if approved.

This site is located in the County, therefore any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. A note so stating should be placed on the Final Plat, if approved.

Based upon the preceding, this application is recommended for tentative approval, subject to the following conditions:

- 1) Dedication sufficient to provide 30' from the centerline;
- 2) Placement of a note on the Final Plat stating that that the proposed Lot 1 is limited to the existing curb-cut to Mardanne Drive, and that the proposed Lot 2 is limited to only 1 curb-cut to Mardanne Drive, with the size, design and location of any new curb-cuts, and any changes to the existing curb-cut, to be approved by Mobile County Engineering and conform to AASHTO standards;
- 3) Revision of the lot size information to include both acres and square feet on the Final Plat;
- 4) Retention of the 25' minimum building setback line on the Final Plat;
- 5) Placement of a note on the Final Plat stating: *This site is located in the County, and therefore any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations.;*
- 6) Compliance with Fire Comment (*All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile. As per Appendix D, Section D107.1, one and two family developments with more than 30 dwelling units shall be provided with separate and approved fire apparatus access roads and shall meet the requirements of Section D104.3.); and*
- 7) Compliance with Engineering Comments and placement as a note on the Final Plat stating: *Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.*

LOCATOR MAP



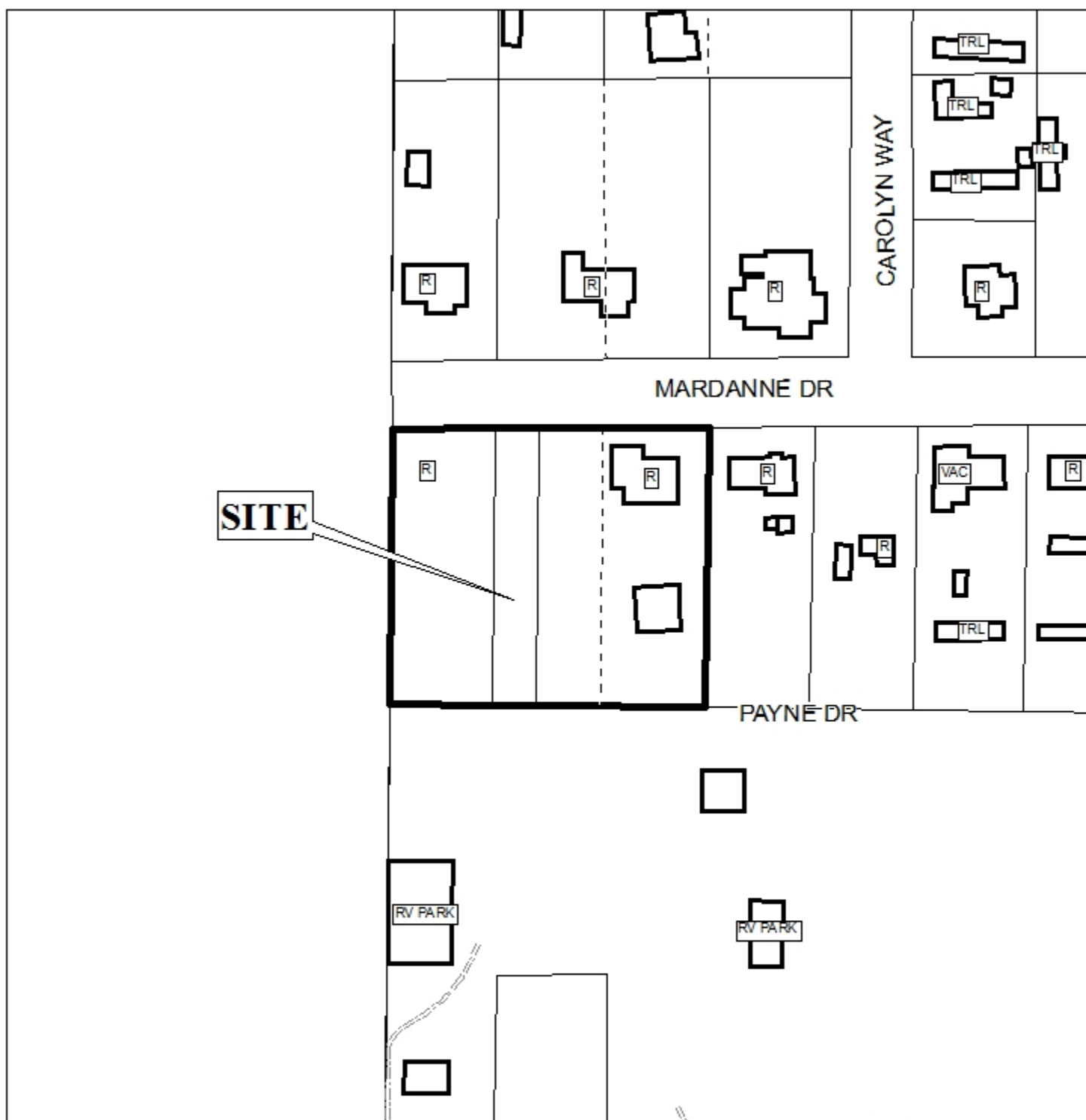
APPLICATION NUMBER 5 DATE May 7, 2015

APPLICANT Town and Country Estates Subdivision, Resubdivision of Lots 13, 14, and 15 Block N

REQUEST Subdivision



TOWN AND COUNTRY ESTATES SUBDIVISION, RESUBDIVISION OF LOTS 13, 14, AND 15 BLOCK N

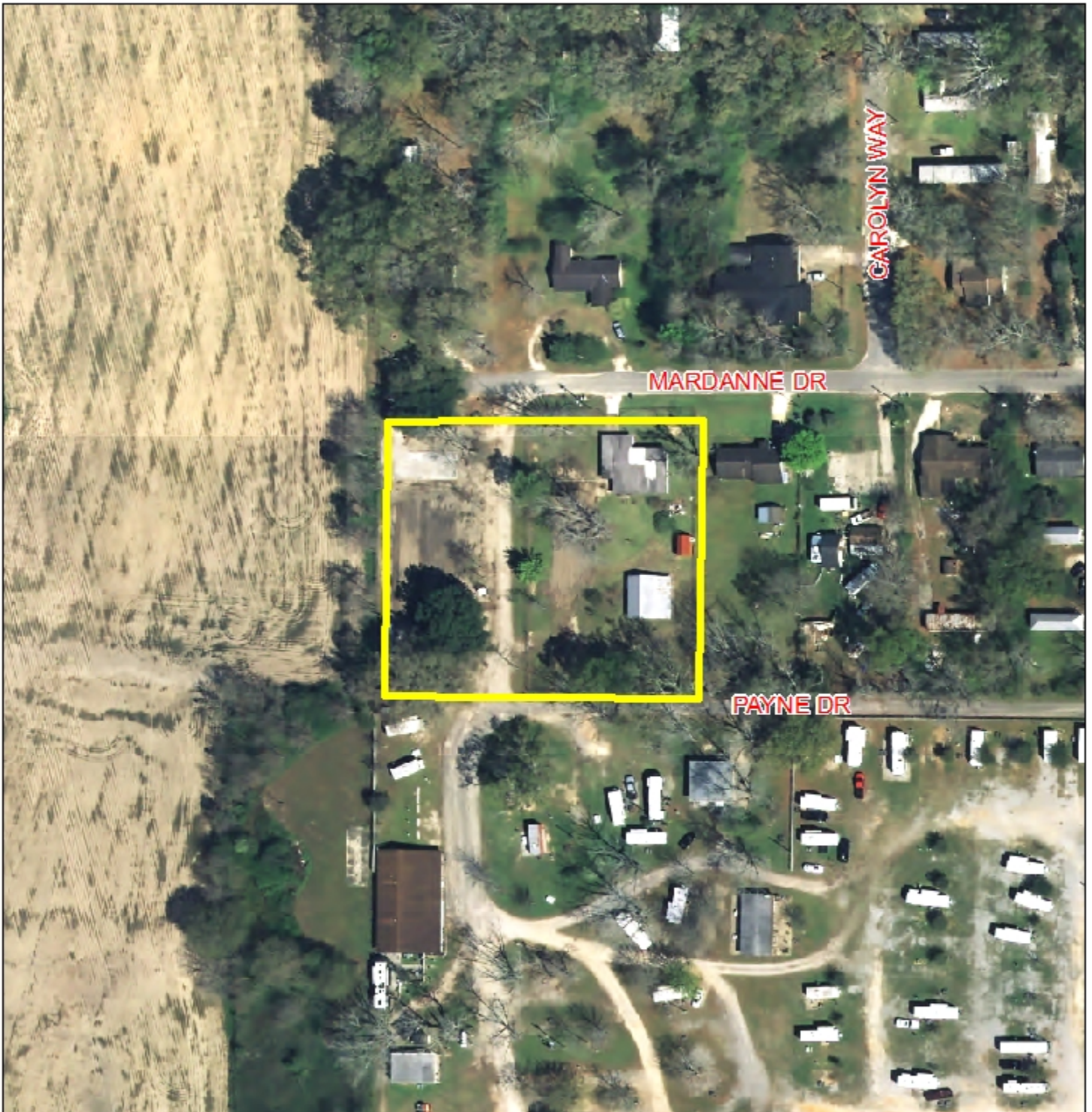


APPLICATION NUMBER 5 DATE May 7, 2015

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



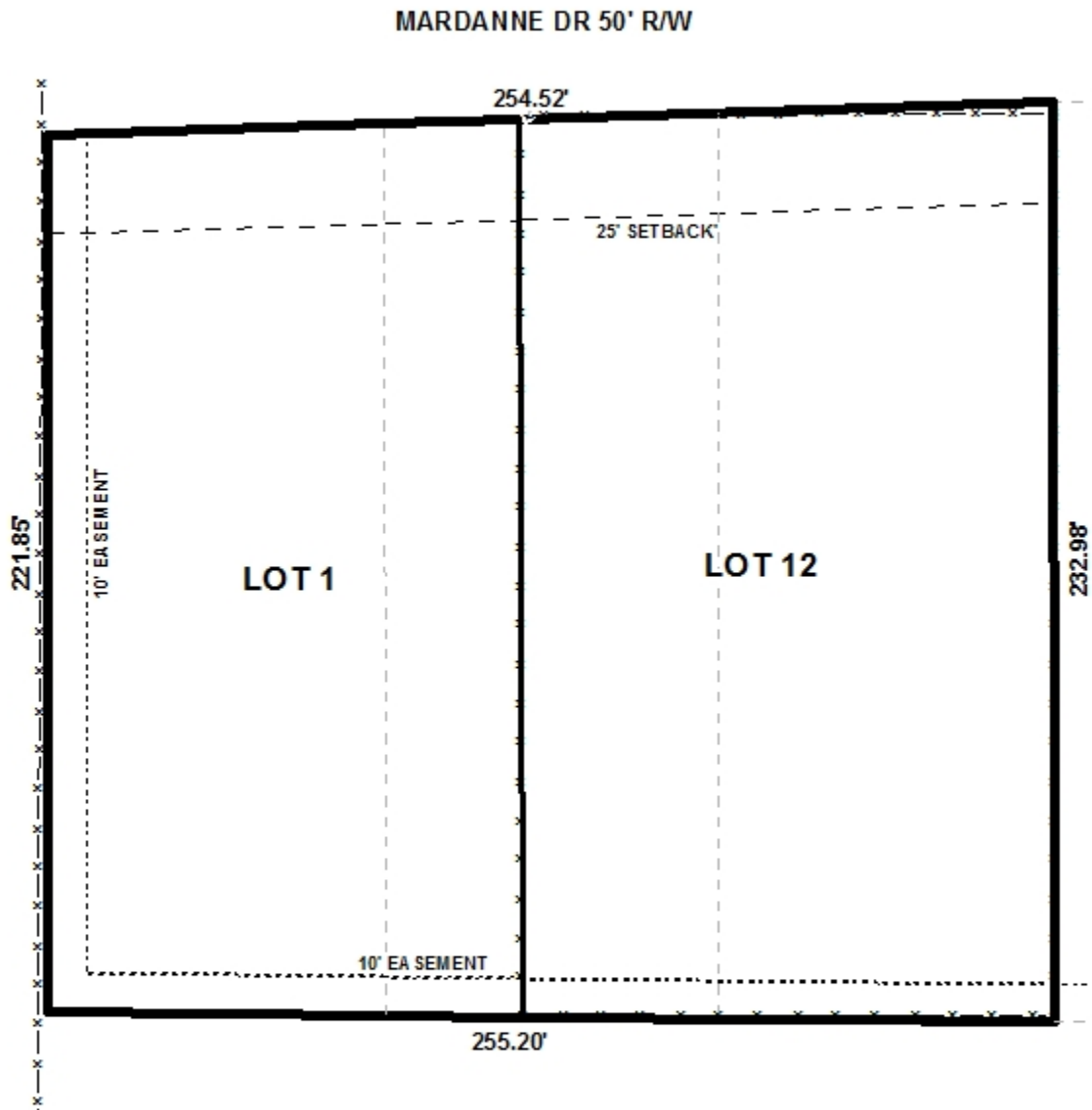
**TOWN AND COUNTRY ESTATES SUBDIVISION,
RESUBDIVISION OF LOTS 13, 14, AND 15 BLOCK N**



APPLICATION NUMBER 5 DATE May 7, 2015



DETAIL SITE PLAN



APPLICATION NUMBER 5 DATE May 7, 2015

APPLICANT Town and Country Estates Subdivision, Resubdivision of Lots 13, 14, and 15 Block N

REQUEST Subdivision

