

THREE LANCASTER ESTATES SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire-Rescue Department Comments: All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).

MAWSS Comments: No comments.

The preliminary plat illustrates the proposed 2-lot, 4.1± acre subdivision which is located on the West side of Lancaster Road, 1.5'± South of Laurendine Road within the County. The site is within the Planning Jurisdiction and the applicant states that the subdivision is served by public water and individual septic systems.

The purpose of this application is to re-subdivide two legal lots of record into two legal lots of record through the rearrangement of an interior lot line.

At its October 2, 2014 meeting, the Planning Commission approved the resubdivision of Lots 1 and 2 of Two Lancaster Estates Subdivision, with a waiver of Section V.D.1. of the Subdivision Regulations, to accommodate the shifting of an interior lot line between the two properties.

The prior resubdivision of the two lots created a flag lot; hence the need for the waiver of Section V.D.1.; however, the applicant now desires to reconfigure the interior lot line in a manner that will make the area of the proposed Lots 1 and 2 consistent and similar in shape to the neighboring Lots 1 and 4 of the Subdivision. The proposed interior lot line location will reduce the area of Lot 1 and enlarge the area of Lot 2, while eliminating the flag lot that was created in the previous approval of this site.

The proposed lots front Lancaster Road, a minor street without curb and gutter. As a minor street without curb and gutter, it requires a 60' right-of-way width in compliance with Section V.B.14. of the Subdivision Regulations. If approved, the Final Plat should retain the required 60' right-of-way width indicated along Lancaster Road.

The 25' minimum building setback line is depicted for each lot on the preliminary plat, and should be retained on the Final Plat, if approved.

In accordance with Section V.D.2. of the Subdivision Regulations, the proposed lots exceed the minimum lot size requirements for lots served by public water and individual septic systems.

The lot size is shown in both square feet and in acres on the preliminary plat, and if approved, should be retained on the Final Plat.

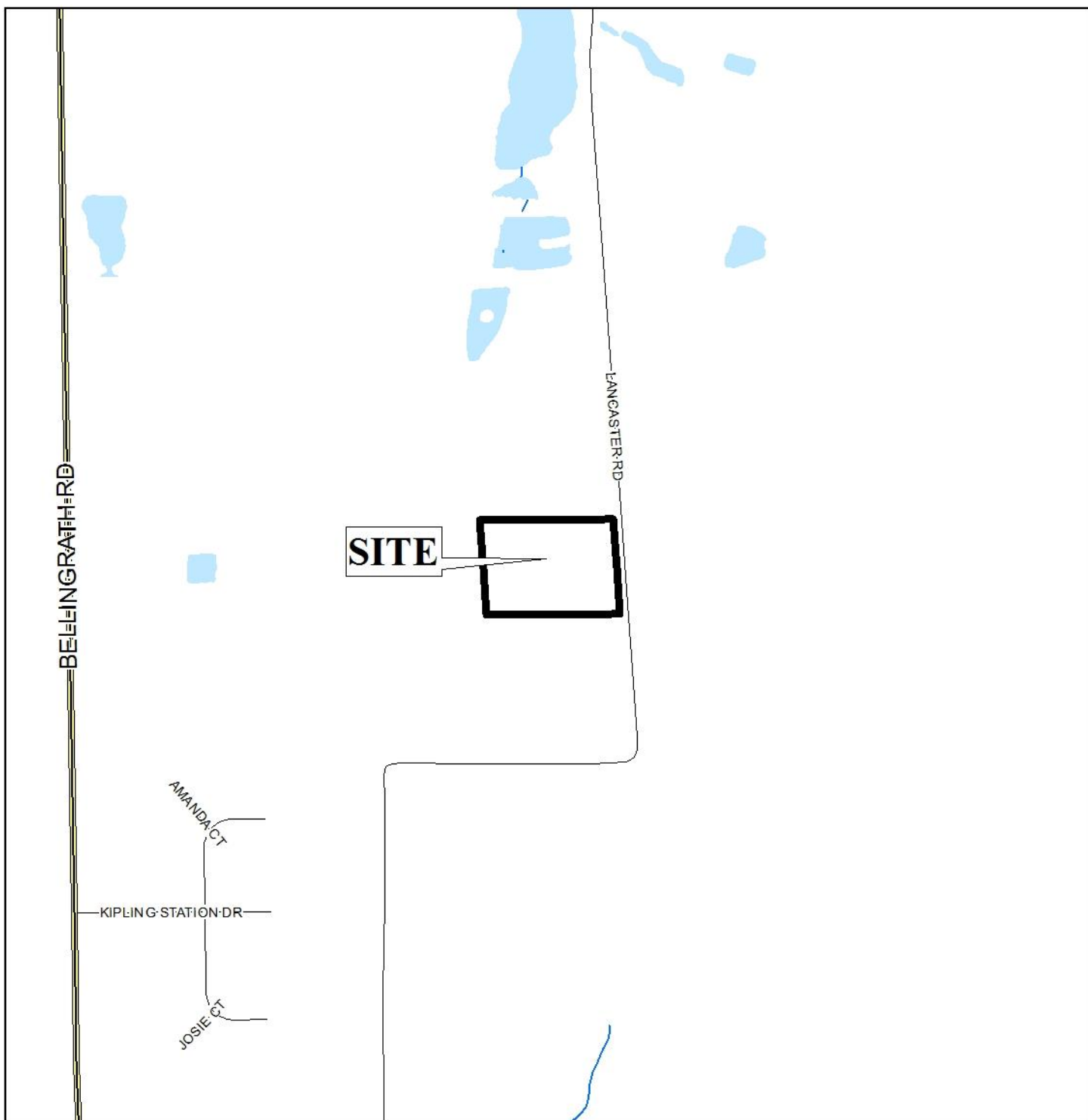
As a means of access management, a note should be placed on the Final Plat stating that the proposed lots should each be limited to one curb cut each to Lancaster Road, with any changes to the size, design and location of each curb-cut to be approved by Mobile County Engineering and conform to AASHTO standards.

This site is located in the County, therefore any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. The aforementioned statement is indicated as a note on the preliminary plat and should be retained on the Final Plat, if approved.

Based upon the preceding, the application is recommended for Tentative Approval, subject to the following conditions:

- 1) Retention of the 60' right-of-way width along Lancaster Road;
- 2) Retention of the 25' minimum building setback line;
- 3) Retention of the lot size information in square feet and in acres on the Final Plat;
- 4) Retention of the note stating that both lots are limited to one curb each to Lancaster Road, with any changes in the size, design or location of the curb-cuts to be approved by Mobile County Engineering and conform to AASHTO standards on the Final Plat;
- 5) Placement of a note on the Final Plat stating: *(This site is located in the County, and therefore any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations.);*
- 6) Compliance with Fire Comments and placement as a note on the Final Plat: *(All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).);* and
- 7) Compliance with Engineering Comments: *(Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.).*

LOCATOR MAP



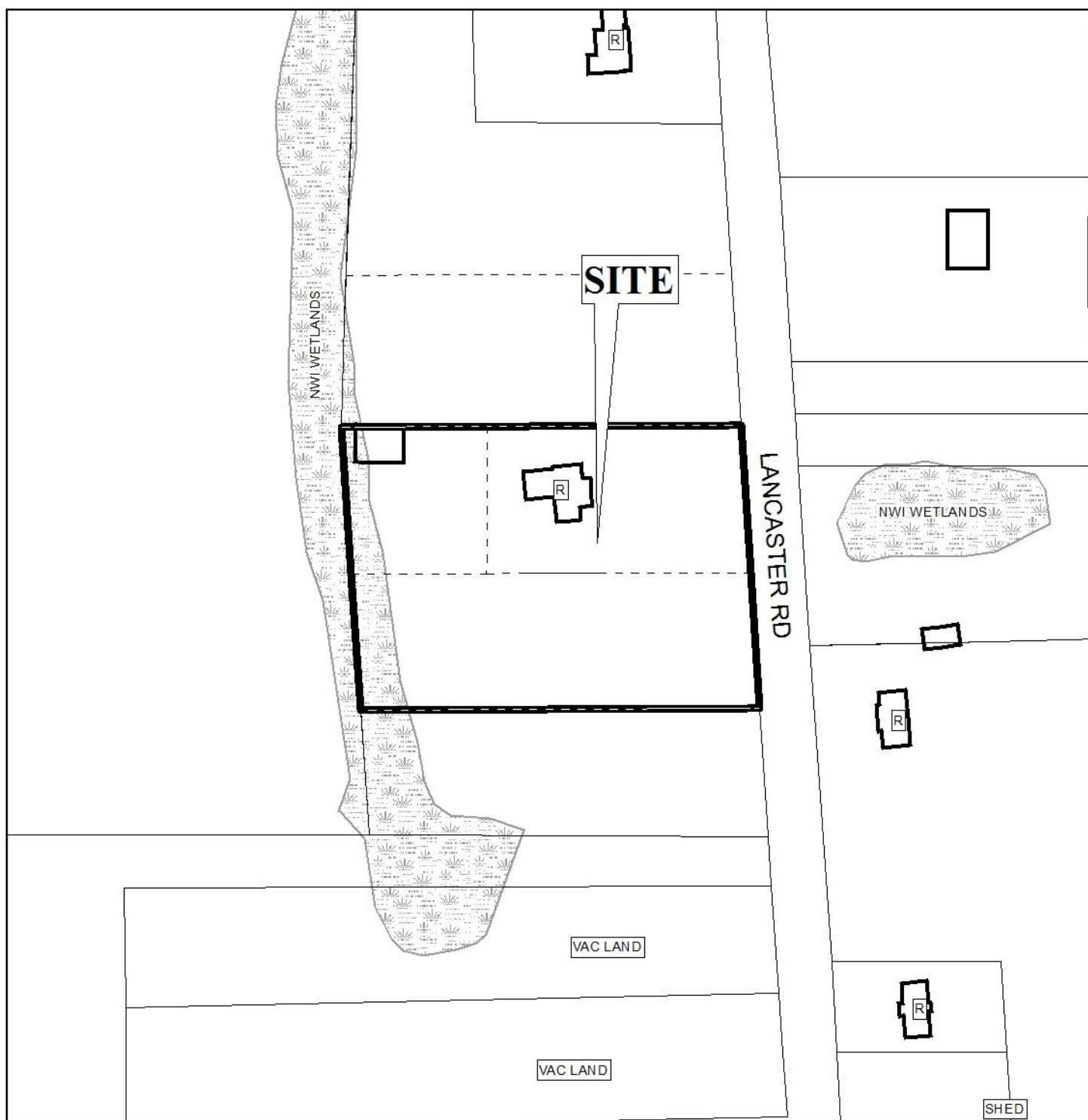
APPLICATION NUMBER 5 DATE March 17, 2016

APPLICANT Three Lancaster Estates Subdivision

REQUEST Subdivision



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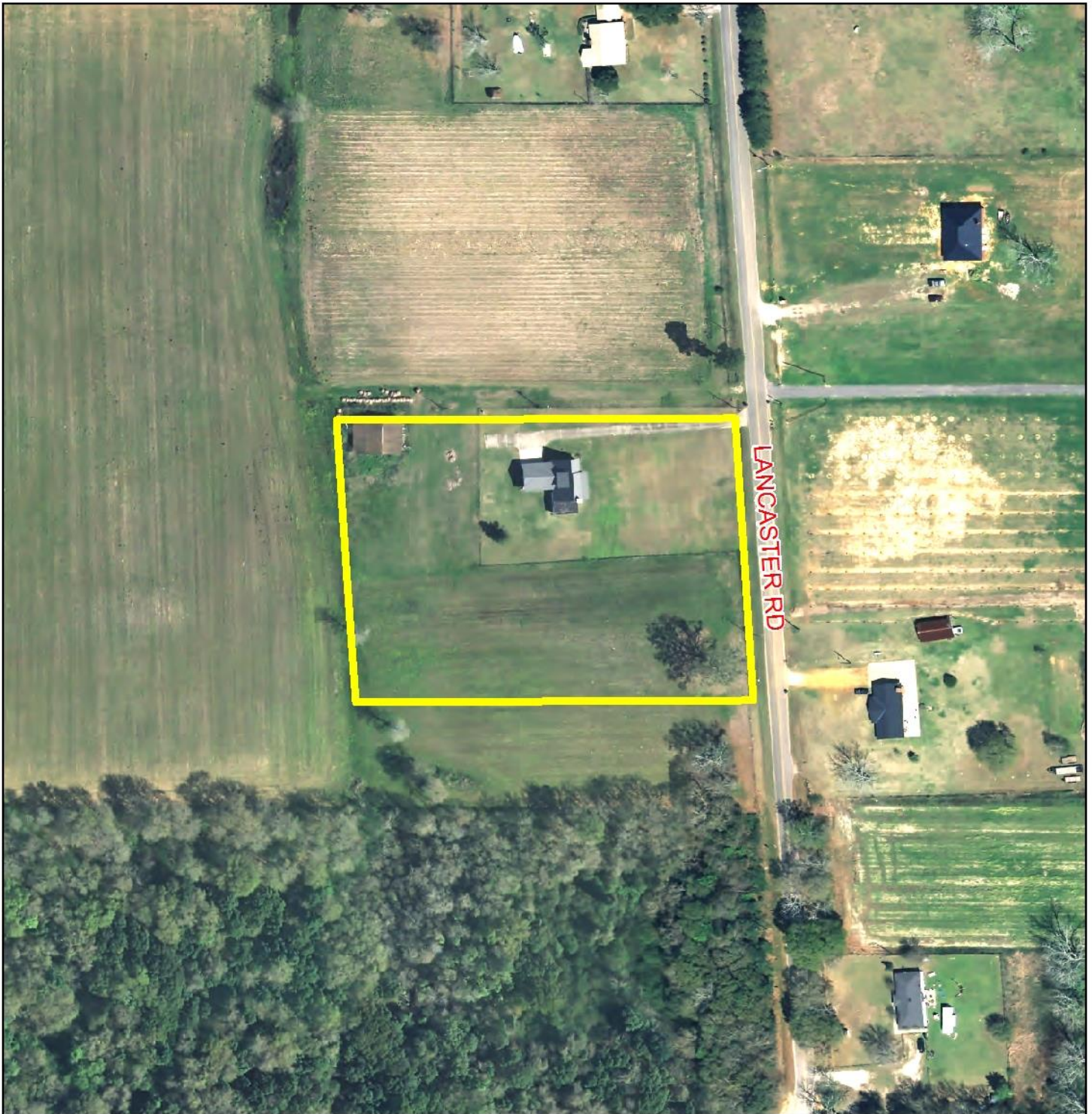


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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



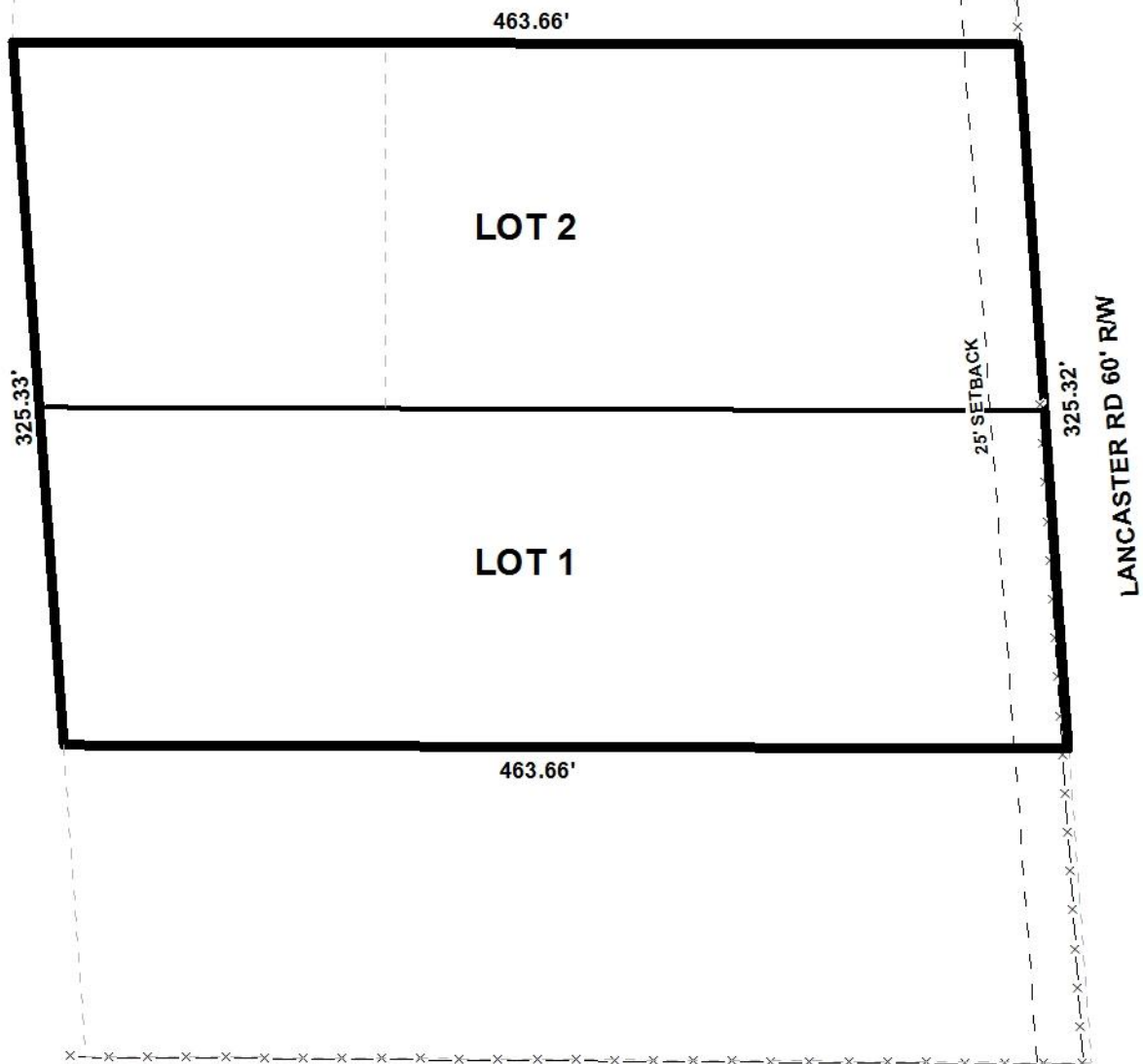
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DETAIL SITE PLAN



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APPLICANT Three Lancaster Estates Subdivision

REQUEST Subdivision

