

THOMAS & JANETTA AUTREY FAMILY DIVISION **SUBDIVISION**

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits

Fire Department Comments: Subdivision layout and design must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile. Commercial buildings and sites within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

Mobile Area Water & Sewer System Comments:

The plat illustrates the proposed 2.1± acre, 2 lot subdivision, which is located on the East side of Carol Street, 900± South of Crowell Street. The applicant states the site is served by city water and an individual septic system.

The purpose of this application is to create two legal lots from two existing lots.

The site fronts Carol Street, a minor street with adequate right-of-way.

Aerial photographs from 2006 show two structures on the property which appear to be very close to where the new proposed property line would be. A holdover is recommended to allow the applicant to amend the plat to show the structure and the setback between the structure and the proposed property line to ensure each structure is within the proposed lot.

Proposed Lot 1 has approximately 175' of frontage along Carol Street, while proposed Lot 2 will have approximately 25' of frontage onto Carol Street. As a means of access management, a note should be placed on the final plat, if approved, stating that Lot 1 and Lot 2 are limited to one curb each to Carol Street, with the size, location, and design to be approved by County Engineering.

Proposed Lot 2 will be a flag lot with only 25' of frontage, which is not in compliance with Sections V.D.1 and V.D.3 of the Subdivision Regulations. Section V.D.1 of the regulations states, "*Panhandle or flag lots shall generally not be allowed, but may be permitted only in those locations where varied and irregularly-shaped lot designs are common and the informality of design is consistent with other lots in the vicinity.*" Additionally, it states, "*Requests for panhandle or flag lots shall be accompanied by evidence showing that each panhandle or flag lot is necessary to allow the site owner reasonable use of the site or to alleviate a situation that would otherwise cause extreme hardship.*" After research, staff was unable to locate any flag lots

in the immediate vicinity. If approved, however, there should be no resubdivision of proposed Lot 2 until additional street frontage can be provided.

A note should be placed on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations.

In addition, the lot sizes in square feet, at a minimum, should also be depicted on the final plat, or a table provided furnishing the same information, if approved.

While the site is in Mobile County, it will have to comply with the City of Mobile storm water and flood control ordinances. A note should be placed on the final plat stating that the development will be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. Certification is to be submitted to the Planning Section of Urban Development and County Engineering.

Finally, the geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Based on the preceding, this application is recommended for holdover to allow the applicant to address the following:

- 1) Revision of the plat to show the current structures located on the property with all setbacks depicted; and
- 2) Provide justification for panhandle lot.

Revised for the October 16th meeting:

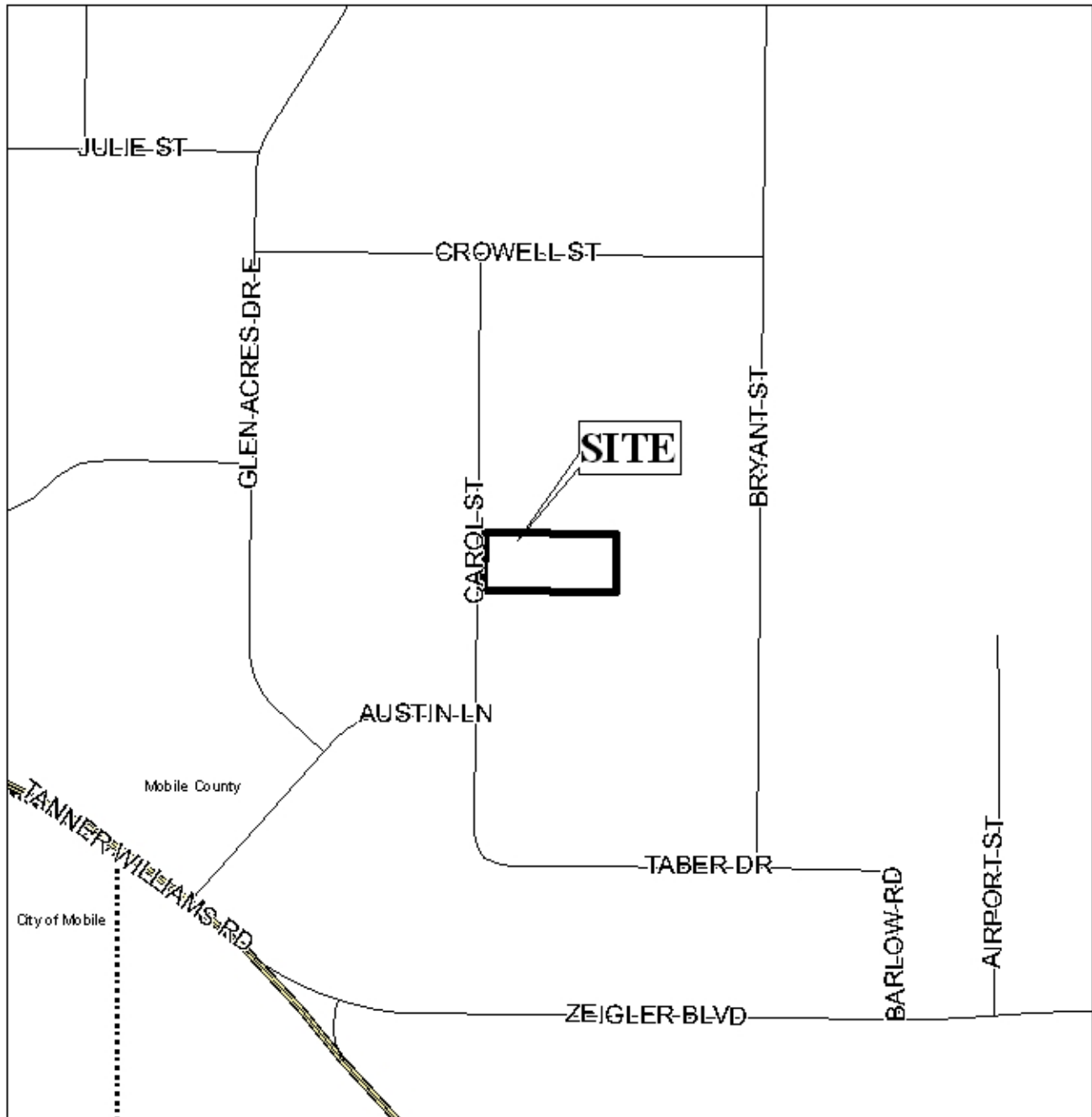
The application was heldover from the September 18th meeting to allow the applicant to revise the plat to show the current structures on the property with all the setbacks depicted and to provide justification for the panhandle lot. The applicant did submit a plat showing the required revisions but did not submit justification for the flag lot. However, the letter submitted by the owner of the property, Thomas Autry, meets the Subdivision Regulation requirements for Family Subdivision section V.D.1, that would allow the flag lot.

All structures located on proposed Lots 1 and 2 meet the required 25' minimum building setback.

With a waiver of sections V.D.1 and V.D.3 of the Subdivision Regulations, this application is recommended for Tentative Approval subject to the following conditions:

- 1) Placement of a note on the final plat stating that Lots 1 and 2 are limited to one curb cut each onto Carol Street with the size, location and design to be approved by County Engineering;
- 2) Placement of a note stating that no additional subdivision of Lot 2 will be allowed until additional frontage on a public street is provided;
- 3) placement of a note on the plat stating that the development will be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. Certification is to be submitted to the Planning Section of Urban Development and County Engineering;
- 4) revision of the plat to show the 25' minimum building setback line 25' from where the "pole" portion of the lot intersects with the "flag" portion;
- 5) placement of a note on the final plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations; and
- 6) Placement of a note on the final plat stating that development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

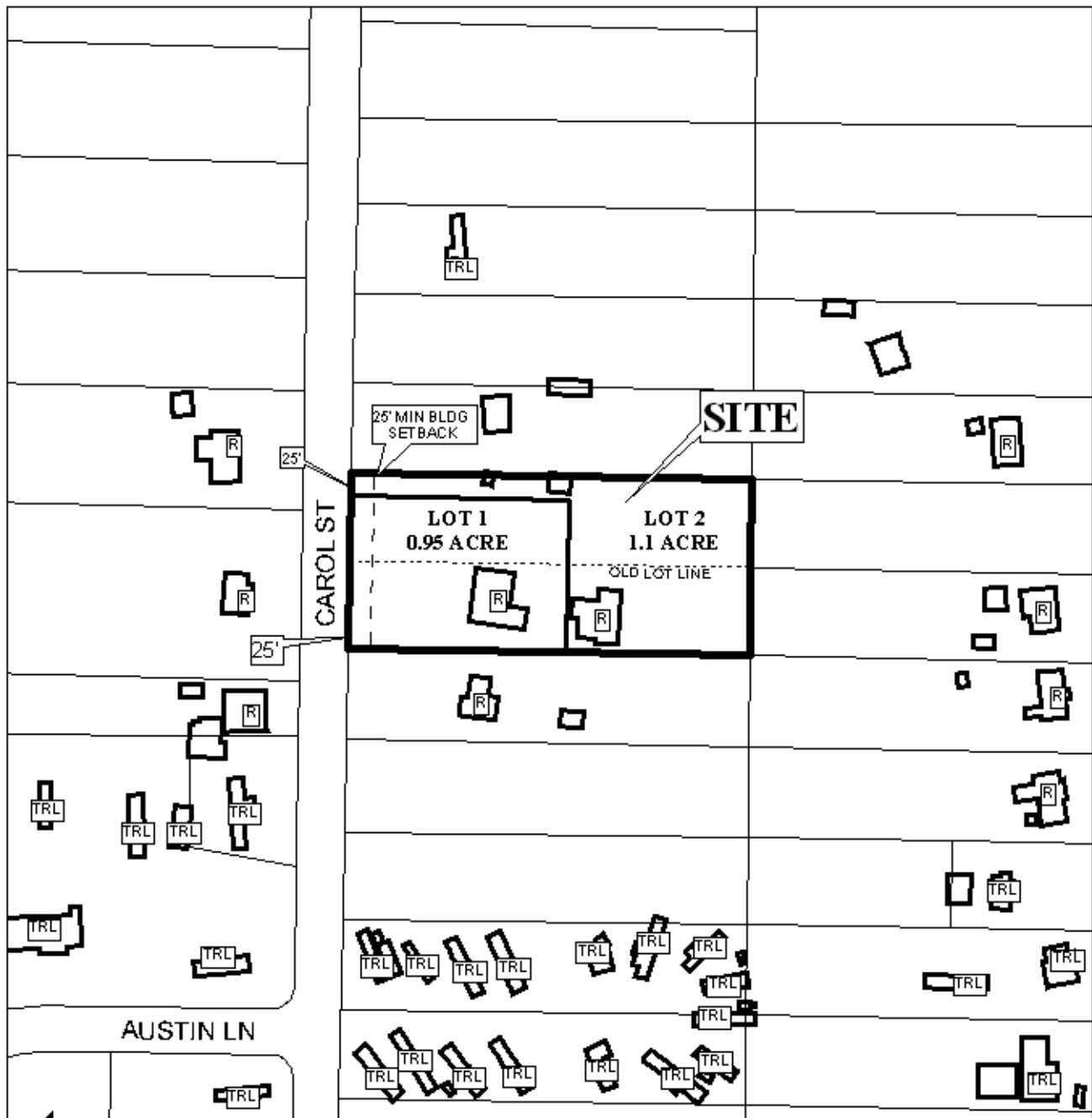
LOCATOR MAP



APPLICATION NUMBER 5 DATE October 16, 2008
APPLICANT Thomas & Janetta Autrey Family Division Subdivision
REQUEST Subdivision



THOMAS & JANETTA AUTREY FAMILY DIVISION SUBDIVISION



APPLICATION NUMBER 5 DATE October 16, 2008

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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APPLICATION NUMBER 5 DATE October 16, 2008



