

## **LEWIS ACRES SUBDIVISION**

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire-Rescue Department Comments: Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction, fall under the State or County Fire Code (2012 IFC).

MAWSS Comments: Comments.

The plat illustrates the proposed 3-lot, 9.9± acres subdivision located on the North side of Bay Road, at the North terminus of Yucca Drive, within the planning jurisdiction. The applicant states that the subdivision is served by public water and individual septic tanks.

The purpose of this application is to create three legal lots of record from one metes-and-bounds parcel. It should be noted that 29.5± acres of the parent parcel is labeled "Future Development."

The proposed lots have frontage on Bay Road, a paved minor street without curb and gutter requiring a 60' right-of-way width. The plat illustrates sufficient right-of-way; therefore, no additional dedication should be required.

The sizes of the proposed lots, at a minimum of 225' of frontage per lot, and at least 142,000 square feet each, meet the minimum size requirements of the Subdivision Regulations of 15,000 square feet. The lot sizes are provided in square feet and acres, and this information should be retained on the Final Plat; or, a table illustrating the same information should be provided on the Final Plat, if approved.

With regards to access management, a note should be placed on the Final Plat, if approved, stating each lot is limited to two curb cuts to Bay Road, with their sizes, locations, and designs to be approved by County Engineering and conform to AASHTO standards.

The 25' minimum building setback line is illustrated and should be retained on the Final Plat, if approved.

This site is located in the County, thus any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. A note regarding this requirement should also appear on the Final Plat, if approved.

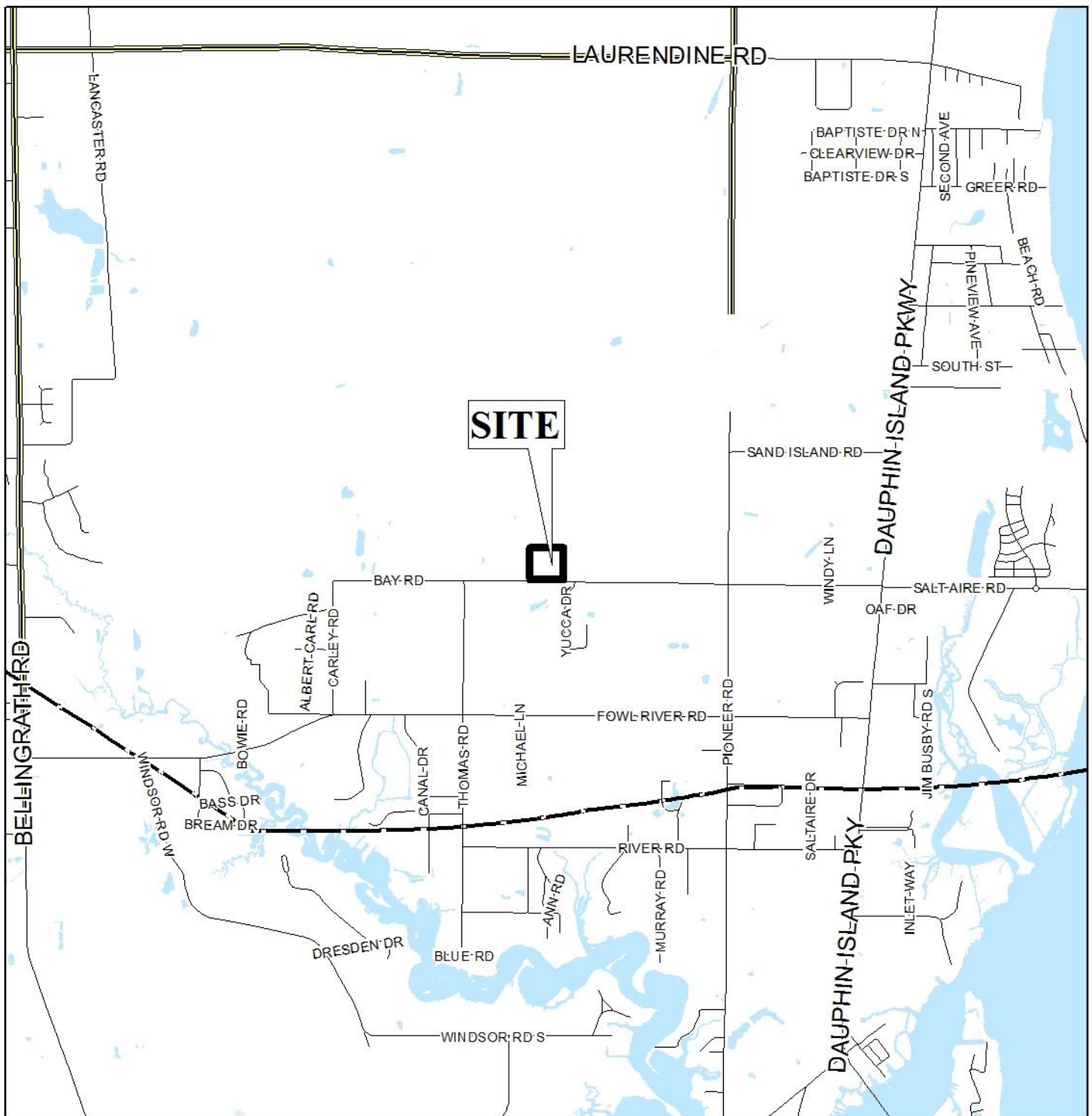
The site will have to comply with the City of Mobile storm water and flood control ordinances. A note stating: *"Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring*

*submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.” should be placed on the Final Plat.*

Based upon the preceding, this application is recommended for Tentative Approval subject to the following conditions:

- 1) retention of the lot sizes in square feet and acres on the Final Plat, or the furnishing of a table on the Final Plat providing the same information;
- 2) placement of a note on the Final Plat limiting each lot to two curb cuts to Bay Road, with their sizes, designs, and locations to be approved by Mobile County Engineering and conform to AASHTO standards;
- 3) retention of the 25-foot minimum building setback line on the Final Plat;
- 4) placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations;
- 5) placement of a note on the Final Plat to comply with the Mobile County storm water and flood control ordinances: *(Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.); and,*
- 6) compliance with Fire Department comments: *(Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction, fall under the State or County Fire Code (2012 IFC).).*

# LOCATOR MAP



APPLICATION NUMBER 5 DATE January 5, 2017

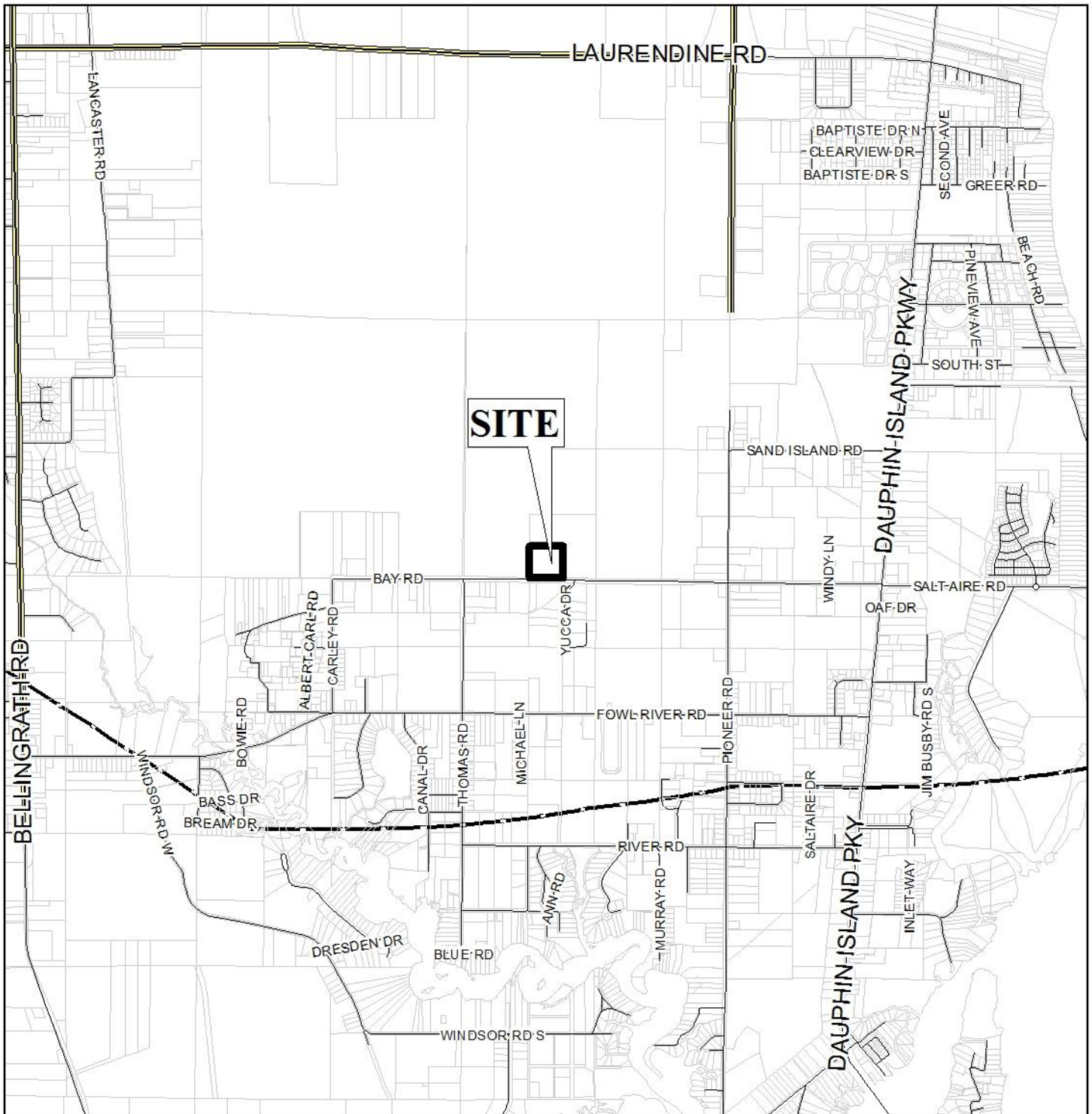
APPLICANT Lewis Acres Subdivision

REQUEST Subdivision



NTS

# LOCATOR ZONING MAP



APPLICATION NUMBER 5 DATE January 5, 2017

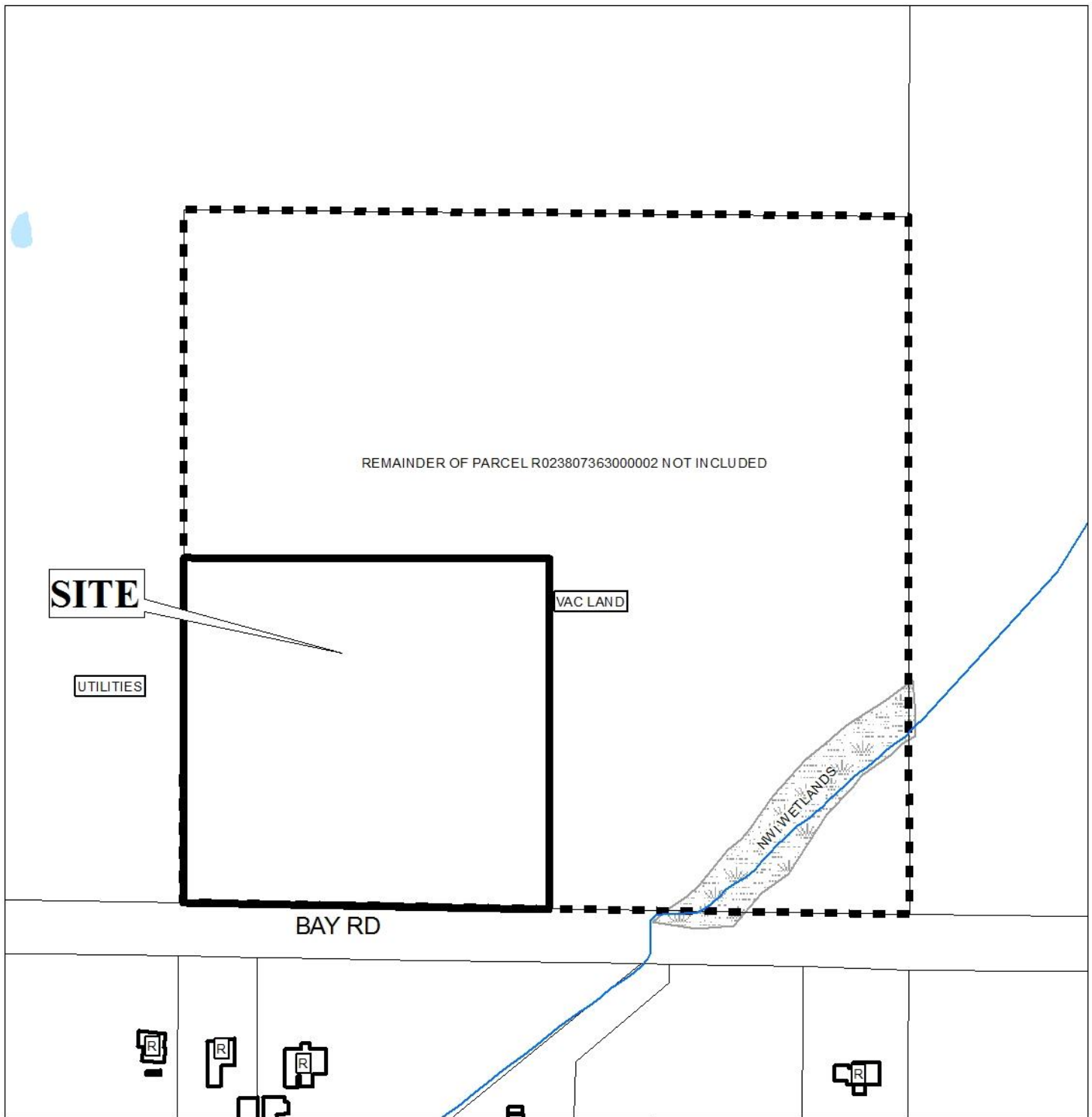
APPLICANT Lewis Acres Subdivision

REQUEST Subdivision



NTS

# LEWIS ACRES SUBDIVISION



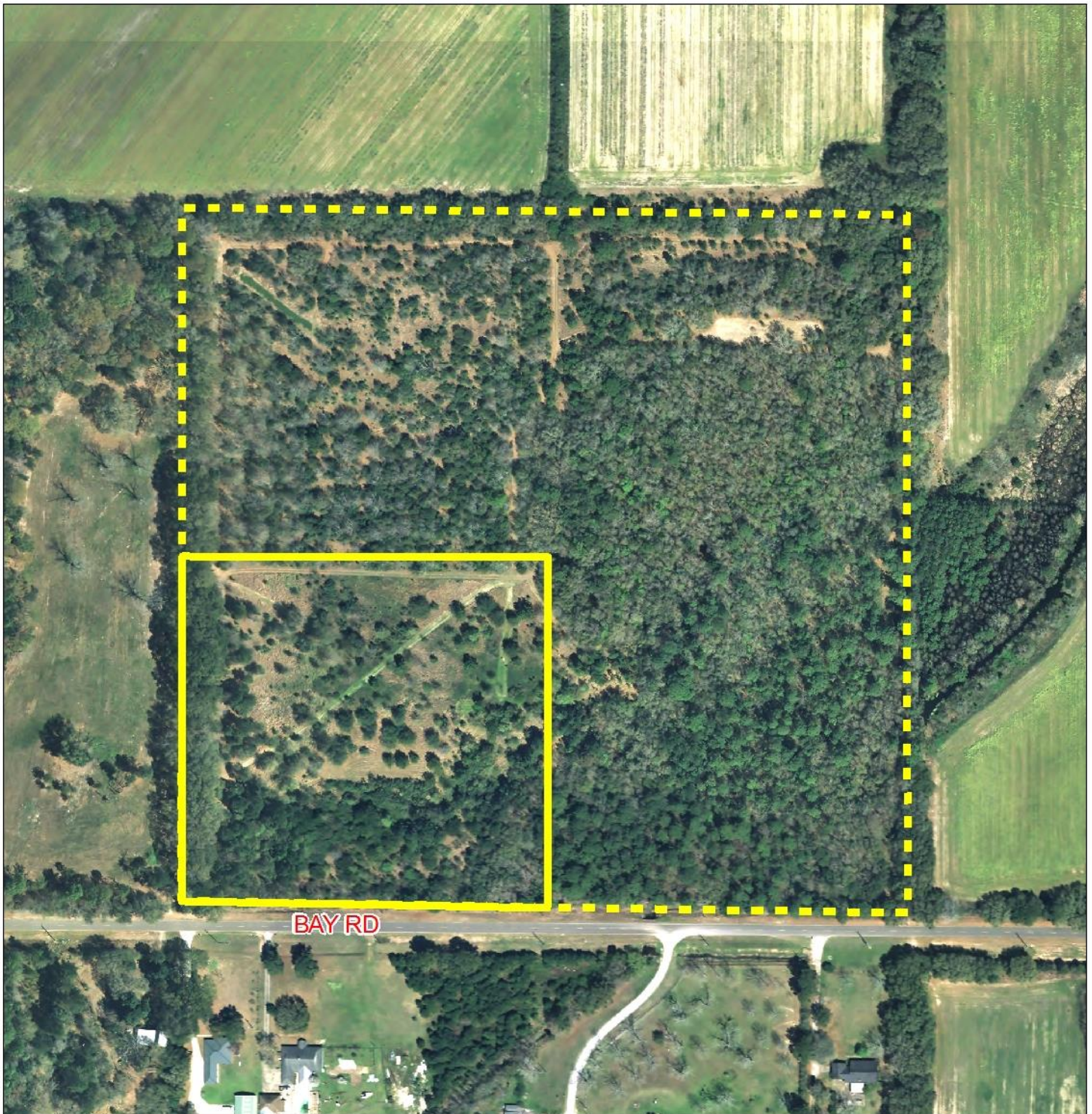
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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6





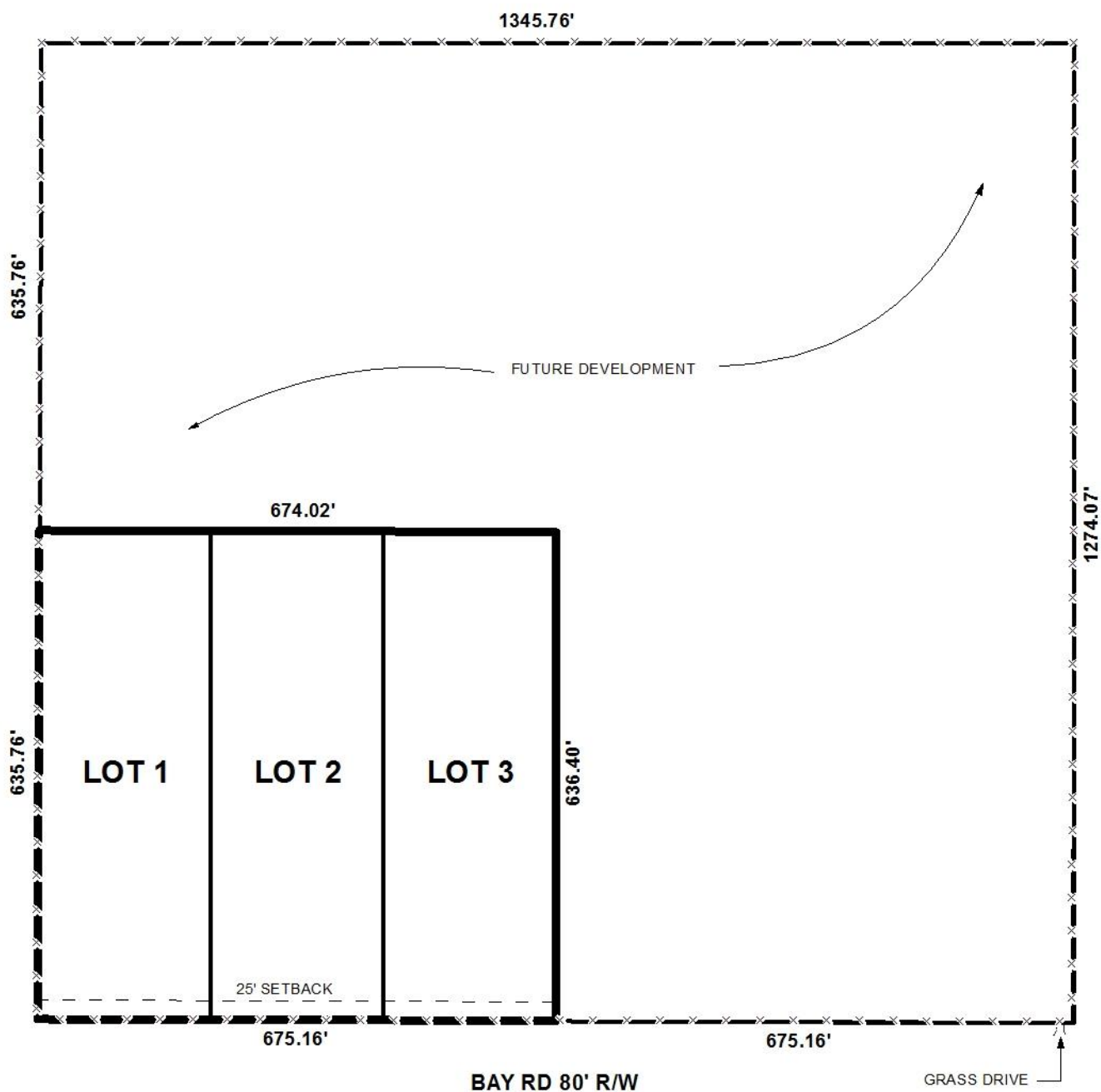
# LEWIS ACRES SUBDIVISION



APPLICATION NUMBER 5 DATE January 5, 2017



# DETAIL SITE PLAN



APPLICATION NUMBER 5 DATE January 5, 2017  
APPLICANT Lewis Acres Subdivision  
REQUEST Subdivision



