

KLUGE PLACE SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Traffic Engineering Comments: Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWSS Comments: No Comment

The plat illustrates the proposed 0.3 ± acre, 1 lot subdivision which is located at the north terminus of Alba Avenue, and is in Council District 3. The subdivision is served by public water and sanitary sewer.

The purpose of this application is to create one legal lot of record from an existing legal lot and a portion of legal lot. It appears that the portion of the existing lot was parceled off sometime between 1975 and 2009. Considering the property to the North has changed hands at least 4 times, the inclusion of the remainder of Lot 29 in this application would be impracticable.

The site fronts Alba Avenue, a minor street with a required 60' right-of-way. This portion of Alba Avenue is located within a cul-de-sac with a median, and typically dedication to provide right-of-way for the cul-de-sac would be required. However, the Planning Commission waived this requirement for the adjacent property (2 lots over) in 2005; thus, no dedication should be required for this application in order to maintain consistency. Furthermore, the preliminary plat illustrates the right-of-way width as variable; this should be revised to depict the minimum right-of-way width adjacent to the property.

The proposed wedge-shaped lot exceeds the minimum size requirements of Section V.D.2. of the Subdivision Regulations. The proposed lot, however, exceeds the depth to width ratio recommended in Section V.D.3. of the Subdivision Regulations. In this area there are similar irregular shaped lots with depth to width ratios slightly in excess of the recommended ratio, thus the proposed lot is not uncharacteristic for the area; thus a waiver of Sections V.D.1 and V.D.3. is recommended.

The proposed lot is developed with one existing curb-cut to Alba Avenue. As such, the lot should be limited to the existing curb-cut, with any changes to the size, design, and location of the curb-cut to be approved by Traffic Engineering, and conform to AASHTO standards.

The 25-foot minimum building setback line, required in Section V.D.9., is noted on the plat but not illustrated. Revisions should be made to depict the 25' minimum building setback line on the Final Plat.

The plat depicts the lot size in square feet and acres and, this should be retained on the Final Plat, or a table should be furnished providing the same information, if approved.

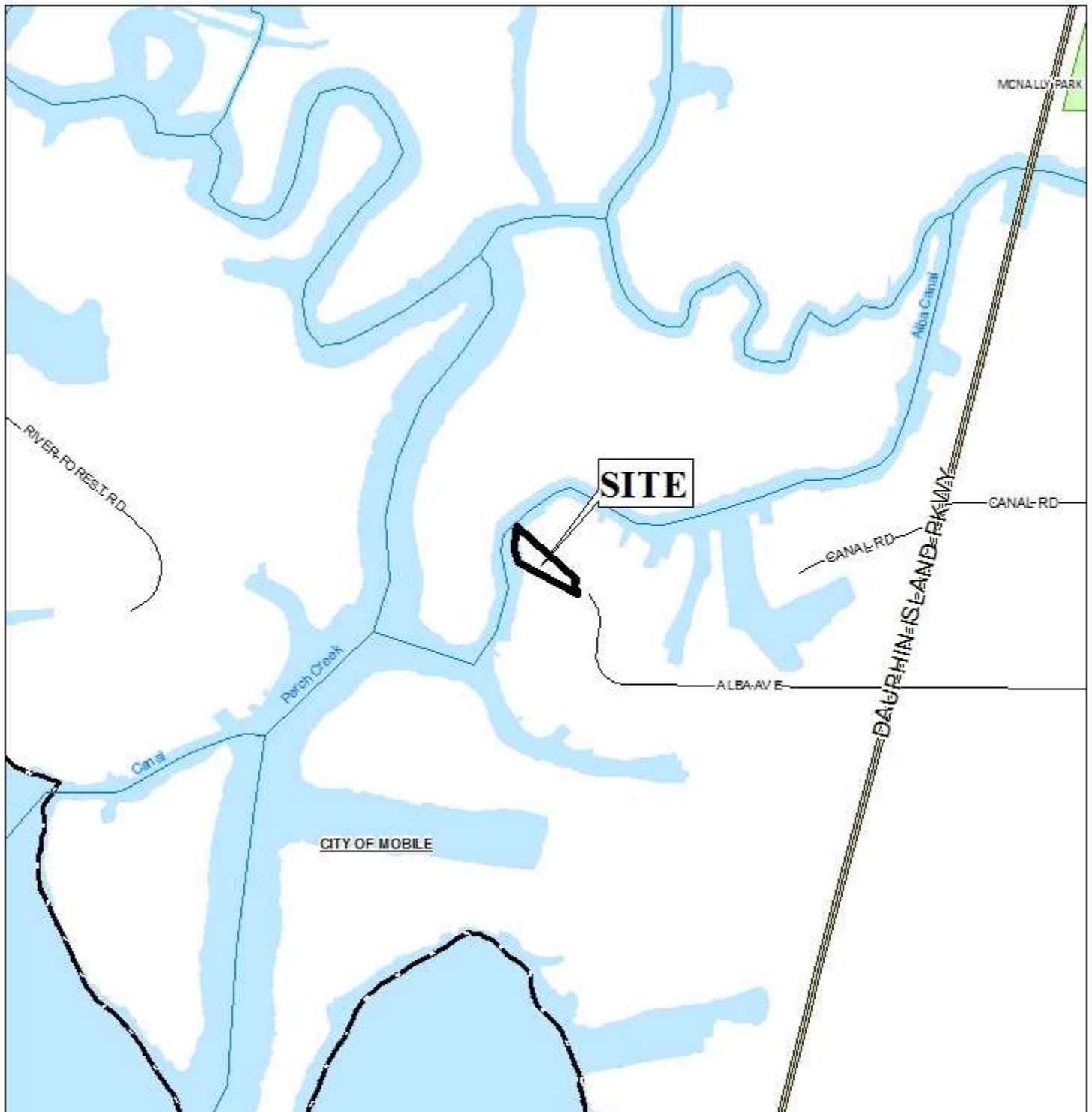
The northern portion of the site is bounded by a branch of Perch Creek, which is also known as the Alba Canal. Wetlands associated with the creek appear to be present on a portion of the site. The site, additionally, appears to be partially located in the "AE" zone as depicted on FEMA maps. The presence of wetlands and floodplains indicate that the area may be environmentally sensitive; therefore, the approval of all applicable federal, state and local agencies would be required prior to the issuance of any permits or land disturbance activities.

The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Based on the preceding, the application is recommended for Tentative Approval, with waivers of Section V.D.1 and V.D.3 of the Subdivision Regulations, subject to the following conditions:

- 1) labeling of the right-of-way width of Alba Avenue to coincide with the right-of-way width adjacent to the property;
- 2) revision of the plat to depict the 25-foot minimum building setback line as required by Section V.D.9. of the Subdivision Regulations;
- 3) retention of the lot size in acres and in square feet or the furnishing of a table on the Final Plat providing the same information;
- 4) placement of a note on the Final Plat stating that the lot is limited to the existing curb-cut, with any changes to the size, design, and location to be approved by Traffic Engineering, and conform to AASHTO standards;
- 5) placement of a note on the Final Plat stating that approval of all applicable federal, state, and local agencies is required for endangered, threatened, or otherwise protected species, if any, prior to the issuance of any permits or land disturbance activities;
- 6) placement of a note on the Final Plat stating that approval of all applicable Federal, state and local agencies is required for wetland and floodplain issues, if any, prior to the issuance of any permits or land disturbance activities;
- 7) compliance with Engineering comments;
- 8) compliance with Traffic Engineering comments;
- 9) compliance with Urban Forestry comments;
- 10) compliance with Fire comments;

LOCATOR MAP



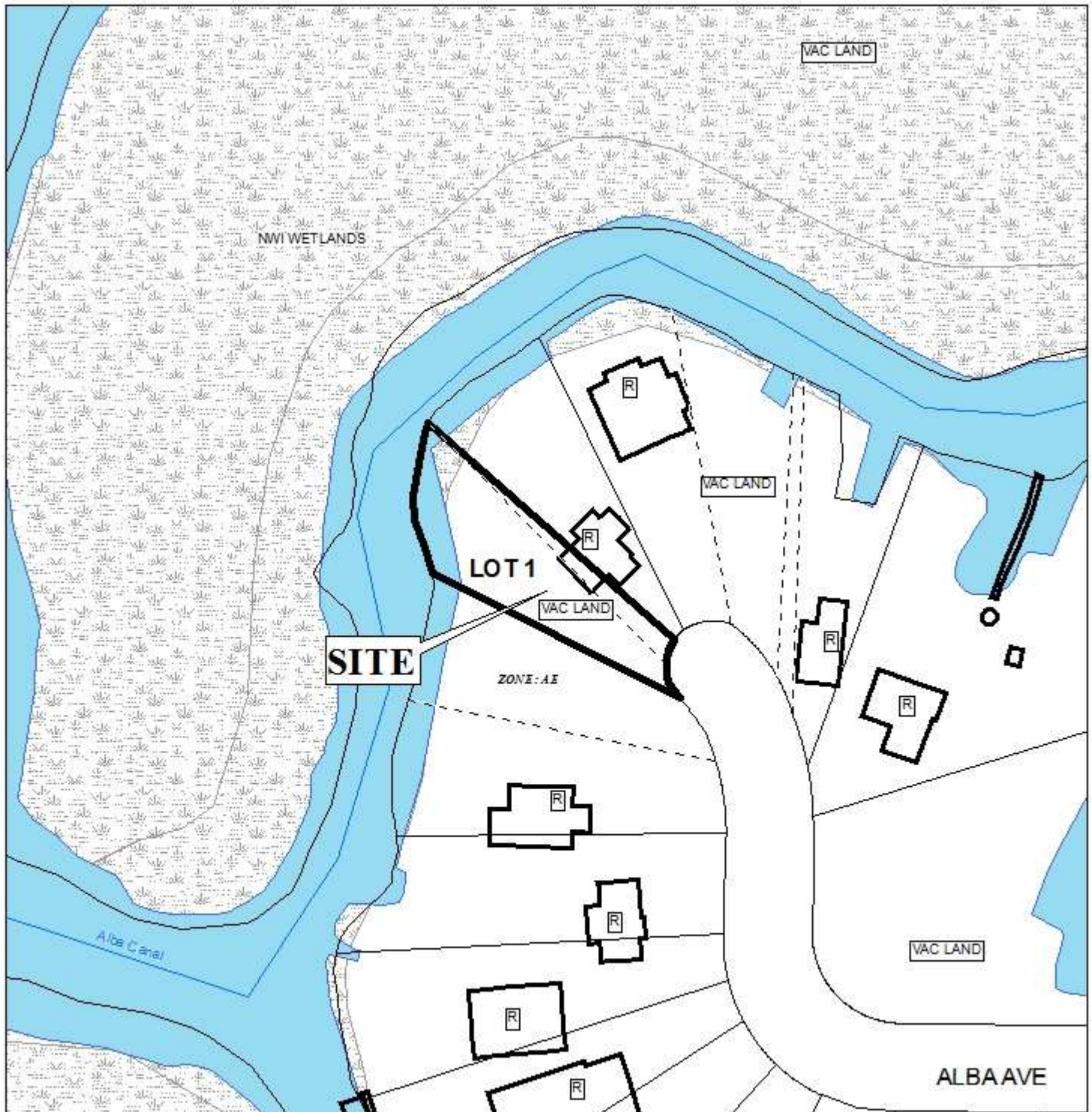
APPLICATION NUMBER 5 DATE October 2, 2014

APPLICANT Kluge Place Subdivision

REQUEST Subdivision



KLUGE PLACE SUBDIVISION



APPLICATION NUMBER 5 DATE October 2, 2014

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



KLUGE PLACE SUBDIVISION



APPLICATION NUMBER 5 DATE October 2, 2014



NTS