

**PLANNED UNIT DEVELOPMENT
STAFF REPORT****Date: December 17, 2015****NAME**

Keith Parker

LOCATIONLot 59 Pinehurst Villa Subdivision
(North terminus of Dickerson Avenue, 730'± North of
Chandler Street)**CITY COUNCIL
DISTRICT**

District 6

PRESENT ZONING

R-3, Multiple-Family District

AREA OF PROPERTY

0.7 ± Acre

CONTEMPLATED USEPlanned Unit Development Approval to amend a
previously approved Planned Unit Development to allow
multiple buildings on a single building site and reduced
side yard setbacks.**TIME SCHEDULE
FOR DEVELOPMENT**

One Year

**ENGINEERING
COMMENTS**

1. The existing drainage ditch along the north and west property lines will need to be shown (top of bank).
2. The applicant will need to provide a drainage easement for the existing drainage ditch that runs along the north and west property lines, and for the existing underground drainage system. The width and alignment of any proposed drainage and/or access easement shall be coordinated with, and approved by, the City Engineer
1. ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN:
2. 1.Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).
3. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.
4. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management

Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.

5. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals.
6. The proposed development must comply with all Engineering Department design requirements and Policy Letters.

TRAFFIC ENGINEERING

COMMENTS

Site is limited to one curb cut to Dickenson Avenue, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Layout as shown, although non-standard, can be considered one-curb cut. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

URBAN FORESTRY

COMMENTS

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

FIRE DEPARTMENT

COMMENTS

All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code).

REMARKS

The applicant is requesting Planned Unit Development Approval to amend a previously approved Planned Unit Development to allow multiple buildings on a single building site and reduced side yard setbacks.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan must be approved by the Planning Commission.

The subject site is part of the Pinehurst Villas Subdivision. The property is located within an R-3, Multiple Family District and the site is bounded by R-3 districts to the East, South, and West, and an R-1 district (Single Family Residential) to the North.

According to the 1981 Final Plat, the subject site was originally proposed to be an 11 unit condominium complex, in addition to each of the four lots located directly to the east and the west of the site; however, the lot has remained undeveloped for many years.

This site recently appeared before the Planning Commission's June 4th meeting, in which the Commission approved the applicant's request to construct four residential duplex structures, consisting of a total of eight units, and reduced side yard setbacks along the unopened right-of-way to the North of the site. The applicant then appeared before the Planning Commission's September 17th meeting in which the Commission approved the applicant's request to resubdivide the lot for the purpose of vacating public right-of-way, in addition to amending the previously approved Planned Unit Development approval to allow multiple building on a single site with reduced side yard setbacks.

The applicant is now seeking PUD approval to reduce the number of proposed residential duplex buildings from four buildings to three buildings, which will consist of a total of six units, due to the topographical severity of the lot. The existing topography of the site, as well as associated construction costs, has forced the development to minimize its current footprint and relocate closer to the center of the site. The applicant has also determined that due to the drastic changes to the site's layout and a reduction in the number of buildings being proposed, that the request for a street vacation is no longer needed.

As stated by the applicant, the proposed PUD will be required to abide by the requirements as cited in the Zoning Ordinance for trees and landscaping, as well as any Engineering requirements for on-site storm water detention. The site plan should be revised to illustrate compliant landscaping as required by Section 64-4.E of the Zoning Ordinance. This will be inclusive of landscaping percentage requirements, and frontage and perimeter tree planting requirements.

It should be noted that the proposed 20' side yard setback at the southern end of the site, as well as the proposed 6' high wood privacy fence, will aid in mitigating any adverse effects to neighboring R-3 properties and abutting residences.

Although the dimensions of the parking lot have been reduced, the site plan still depicts a compliant number of parking spaces. Nine parking spaces are required; however the applicant will be providing fourteen parking spaces on site which will include two additional spaces for motorcycle and/or bicycle use. The illustrated travel aisles width and access and maneuverability in the parking area appear to be compliant as well; however, the applicant must ensure that lighting is provided on site in compliance with Section 64-6.A.3 of the Zoning Ordinance.

The size and location of the mechanical equipment proposed for each residential unit must be depicted on the site plan and should make certain that it is compliant with Section 64-4.D.11 of the Zoning Ordinance.

The applicant depicts a dumpster on the site plan as the primary means for garbage collection; however, the site plan should be revised to illustrate a connection to sanitary sewer and enclosure

in order to reflect compliance with Section 64-4.D.9 of the Zoning Ordinance or a note should be placed on the site plan stating such.

Overall, the amendment to the PUD does not appear to impede on the integrity or character of the surrounding neighborhood as the footprint of the development and the number of buildings proposed has been reduced. Additionally, the proposed development appears to be compatible with the surrounding housing along both Dickenson and McCay Avenues. However, if the development is approved, the proposed project must maintain compliance with all municipal codes and ordinances.

RECOMMENDATION

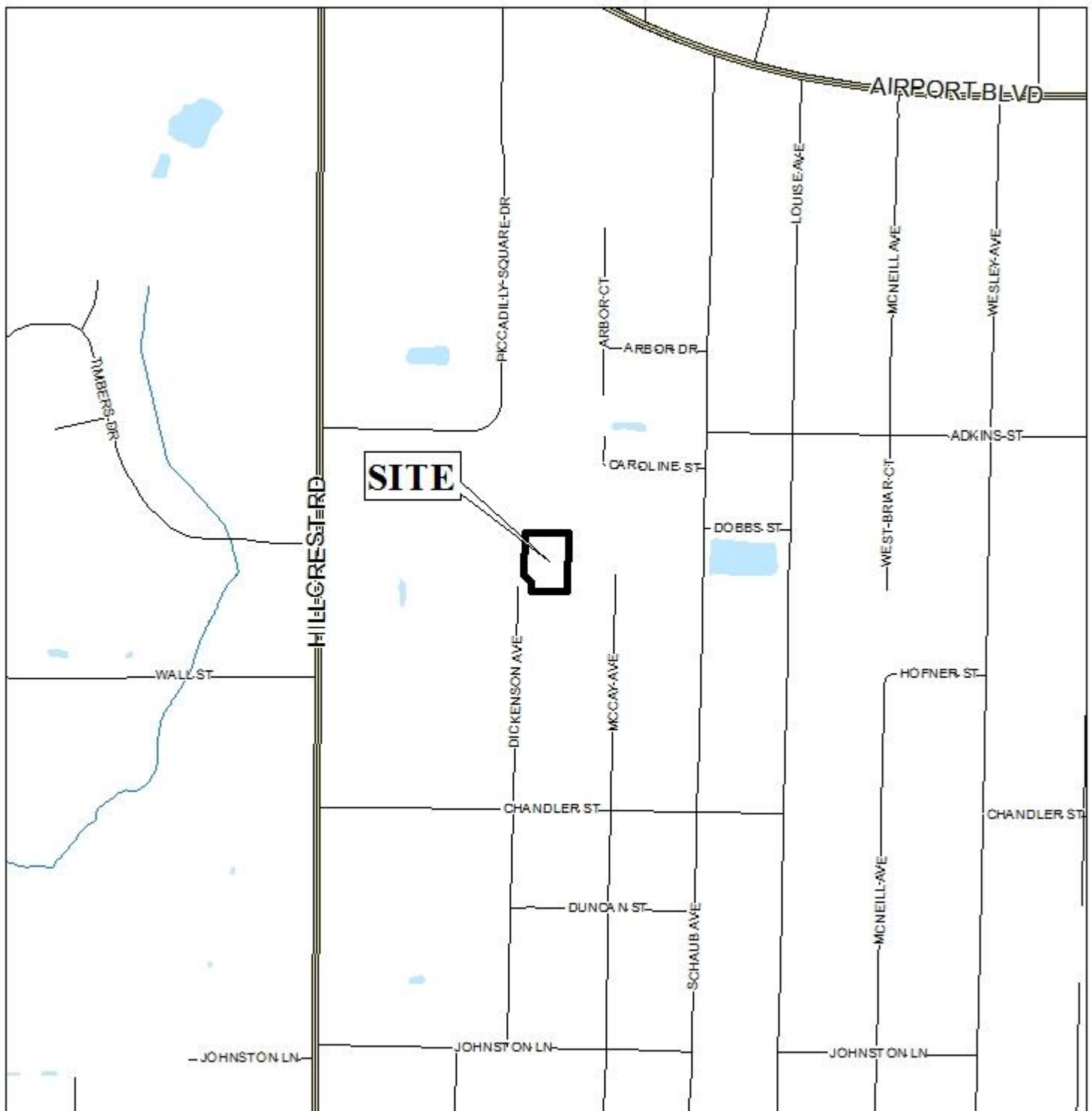
Based upon the preceding, this application is recommended for Approval subject to the following conditions:

- 1) Revision of the site plan to illustrate compliant landscaping as required by Section 64-4.E of the Zoning Ordinance;
- 2) Placement of a note on the site plan indicating that lighting in the parking area will be provided in compliance with Section 64-6.A.3 of the Zoning Ordinance;
- 3) Revision of the site plan to illustrate the size, location, and height of the proposed mechanical units;
- 4) Revision of the site plan to illustrate a dumpster with a sanitary connection to sewer and enclosure compliant with Section 64-4.D.9 of the Zoning Ordinance or the placement of a note stating such;
- 5) Compliance with Engineering comments (*1. The existing drainage ditch along the north and west property lines will need to be shown (top of bank). 2. The applicant will need to provide a drainage easement for the existing drainage ditch that runs along the north and west property lines, and for the existing underground drainage system. The width and alignment of any proposed drainage and/or access easement shall be coordinated with, and approved by, the City Engineer. ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN: 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 4. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals. 5. The proposed*

development must comply with all Engineering Department design requirements and Policy Letters.);

- 6) Compliance with Traffic Engineering comments (*Site is limited to one curb cut to Dickenson Avenue, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Layout as shown, although non-standard, can be considered one-curb cut. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
- 7) Compliance with the Urban Forestry comments: (*Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).);*
- 8) Compliance with the Fire comments: (*All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code).);*
- 9) Full compliance with all municipal codes and ordinances; and
- 10) Provision of a 2 revised PUD site plans to the Planning and Zoning Department prior to the issuance of any permits or beginning any site improvements or building activities.

LOCATOR MAP



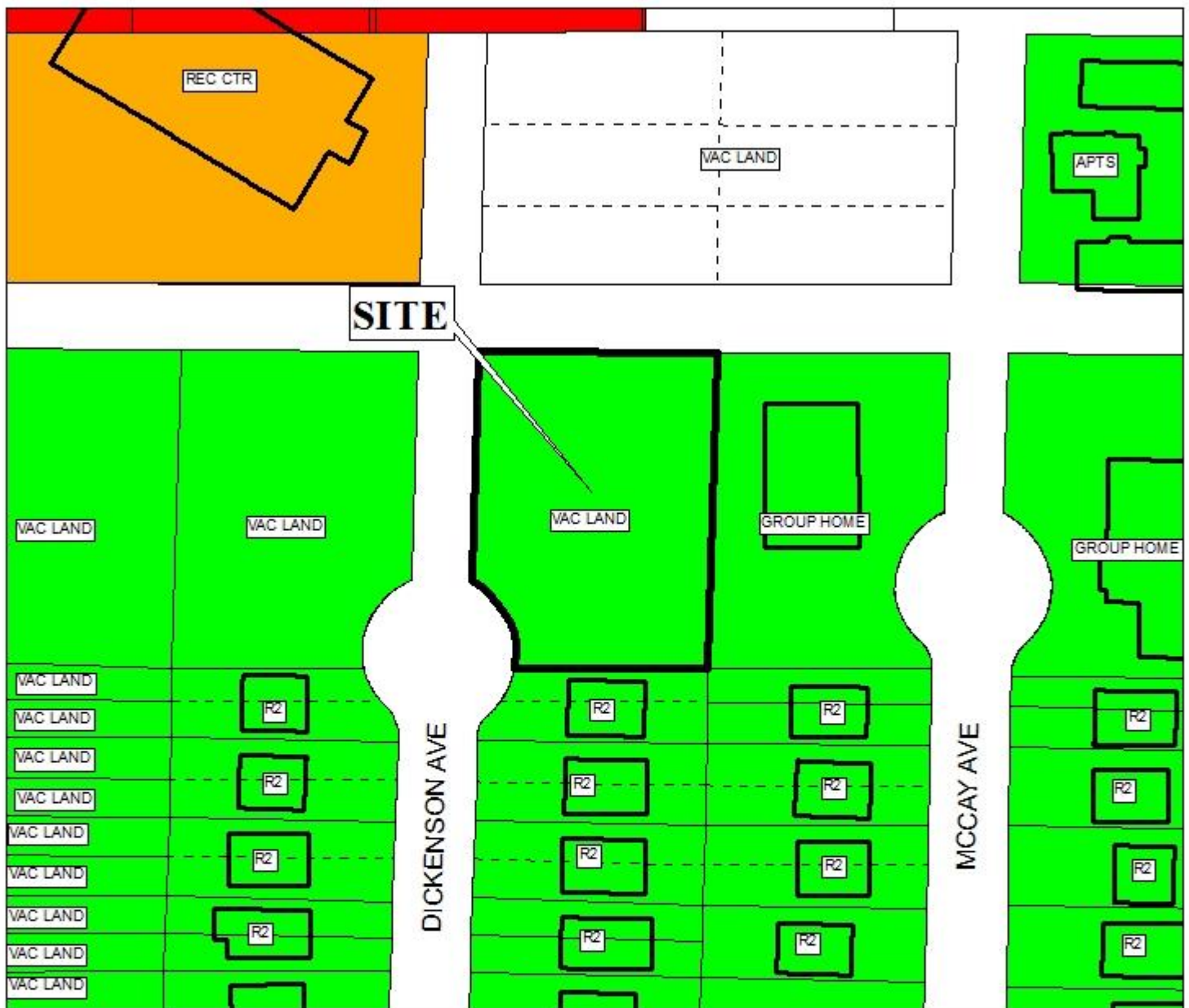
APPLICATION NUMBER 5 DATE December 17, 2015

APPLICANT Keith Parker

REQUEST Planned Unit Development



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by residential units to the south and a recreation center to the northwest.

APPLICATION NUMBER 5 DATE December 17, 2015

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REQUEST Planned Unit Development

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



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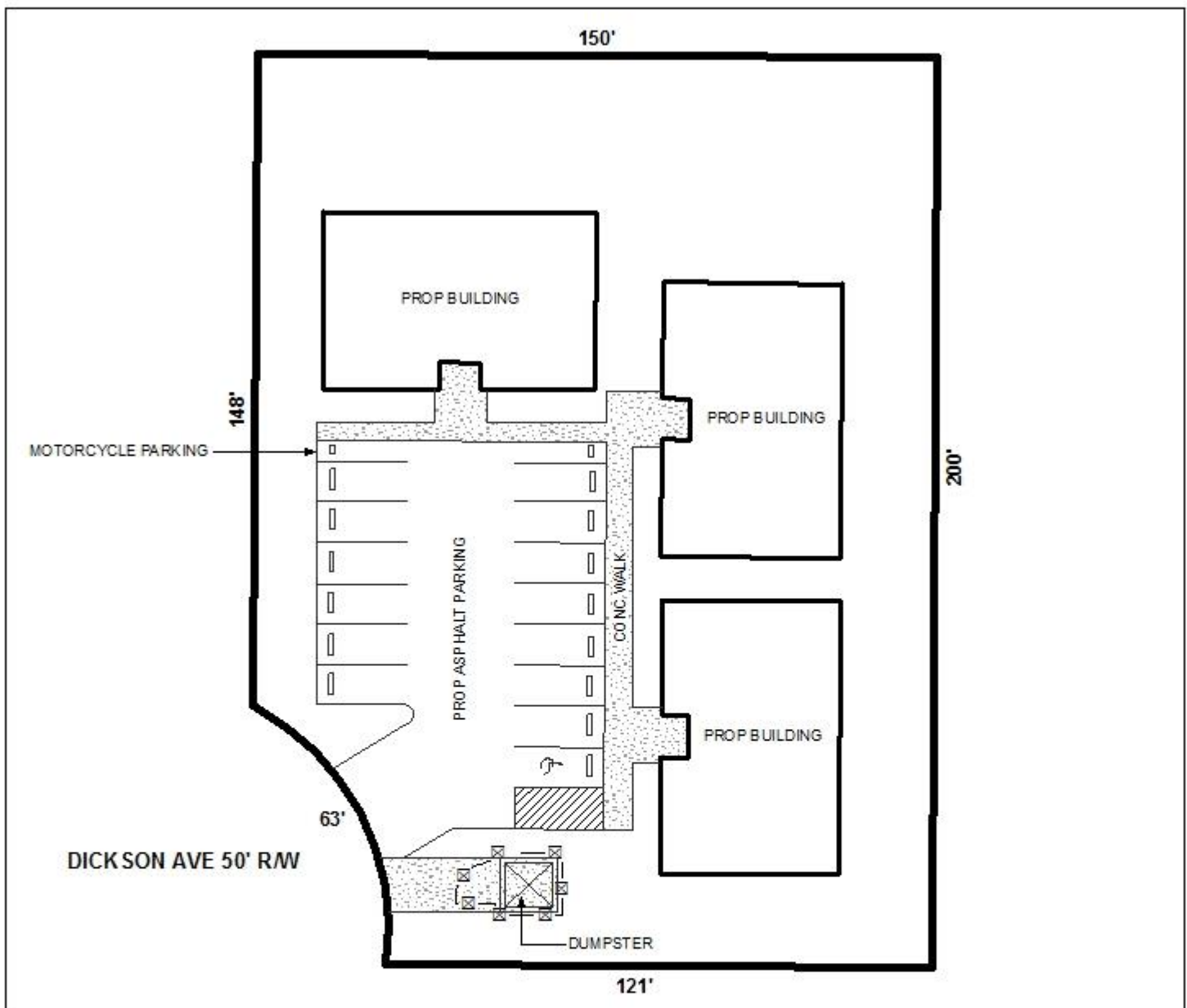
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SITE PLAN



The site plan illustrates the proposed buildings, proposed parking facility, and dumpster location.

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