

JESMAR SUBDIVISION

Engineering Comments: The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with the of the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045), latest edition. Storm water detention may be required for any existing development (since 1984) that did not receive Land Disturbance permitting and for any future addition(s) and/or land disturbing activity.
- C. Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photo
- D. (FLIGHT 17 - # 77) each lot will receive the following historical credit of impervious area towards stormwater detention requirement per the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045), latest edition, as follows: LOT 1 – NONE; LOT 2 –NONE.
- E. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- F. Provide a written legal description for the proposed subdivision and matching bearing and distance labels, including labeling the POC and POB.
- G. Provide and label the monument set or found at each subdivision corner.
- H. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer.
- I. Provide the Surveyor's Certificate and Signature.
- J. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.

Add a note that sidewalk is required to be constructed along the frontage of each lot at time of development, unless a sidewalk waiver is approved.

Traffic Engineering Comments: Access to Airport Boulevard is denied, and each lot is limited to one curb cut to McKenna Court, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. All on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWWS Comments: MAWSS has only water services available.

The plat illustrates the proposed 2-lot, 2.0± acre subdivision, which is located at the Southeast corner of Airport Boulevard and McKenna Court, in Council District 6. The applicant states the site is served by city water and sanitary sewer services. However, this is contradictory to the comments received from MAWSS. Therefore, this discrepancy should be resolved prior to the submittal for development permits as field lines may be required which could alter the proposed site plan.

The purpose of this application is to create two legal lots of record from an existing metes-and-bounds parcel. The proposed lots would meet the minimum size requirements.

The site fronts Airport Boulevard and McKenna Court. Airport Boulevard is a component of the Major Street Plan, with a planned 100' right-of-way. As it currently has a 140' right-of-way along the site, no dedication would be required. McKenna Court is a minor street requiring a 50' right-of-way with a current 50' right-of-way. Normally, a minor street without curb and gutter would require a 60' right-of-way. However, as McKenna Court Subdivision along the West side of McKenna Court was approved in 1959 without the requirement of 30' from the centerline of McKenna Court, not requiring such would be in order for the current application. The plat should be revised to provide a 25' radius curve dedication at the Southeast corner of Airport Boulevard and McKenna Court.

The applicant submitted a site plan for a proposed development depicting Lot 1 as having one curb cut to Airport Boulevard and two curb cuts to McKenna Court. However, Traffic Engineering recommends only one curb cut to McKenna Court for each lot and no access to Airport Boulevard. Therefore, as a means of access management, a note should be required on the Final Plat stating that each lot is limited to one curb cut to McKenna Court, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. A note should also be placed on the Final Plat stating that Lot 1 is denied access to Airport Boulevard.

The 25' minimum building setback line along McKenna Court and Airport Boulevard should be retained on the Final Plat. The plat should be revised to illustrate the minimum building setback line at the Southeast corner of Airport Boulevard and McKenna Court as measured from the required radius curve dedication. As on the preliminary plat, the lots should be labeled on the Final Plat with their size in square feet and acres, after all required dedications, or a table should be furnished on the Final Plat providing the same information.

The Southeast portion of the site is located along the City-County border with properties to the East being in the County with developed residential use. Therefore, a note should be placed on the Final Plat stating that a buffer, in compliance with Section V.A.8. of the Subdivision Regulations must be provided where the site adjoins any residential use.

The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of this site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

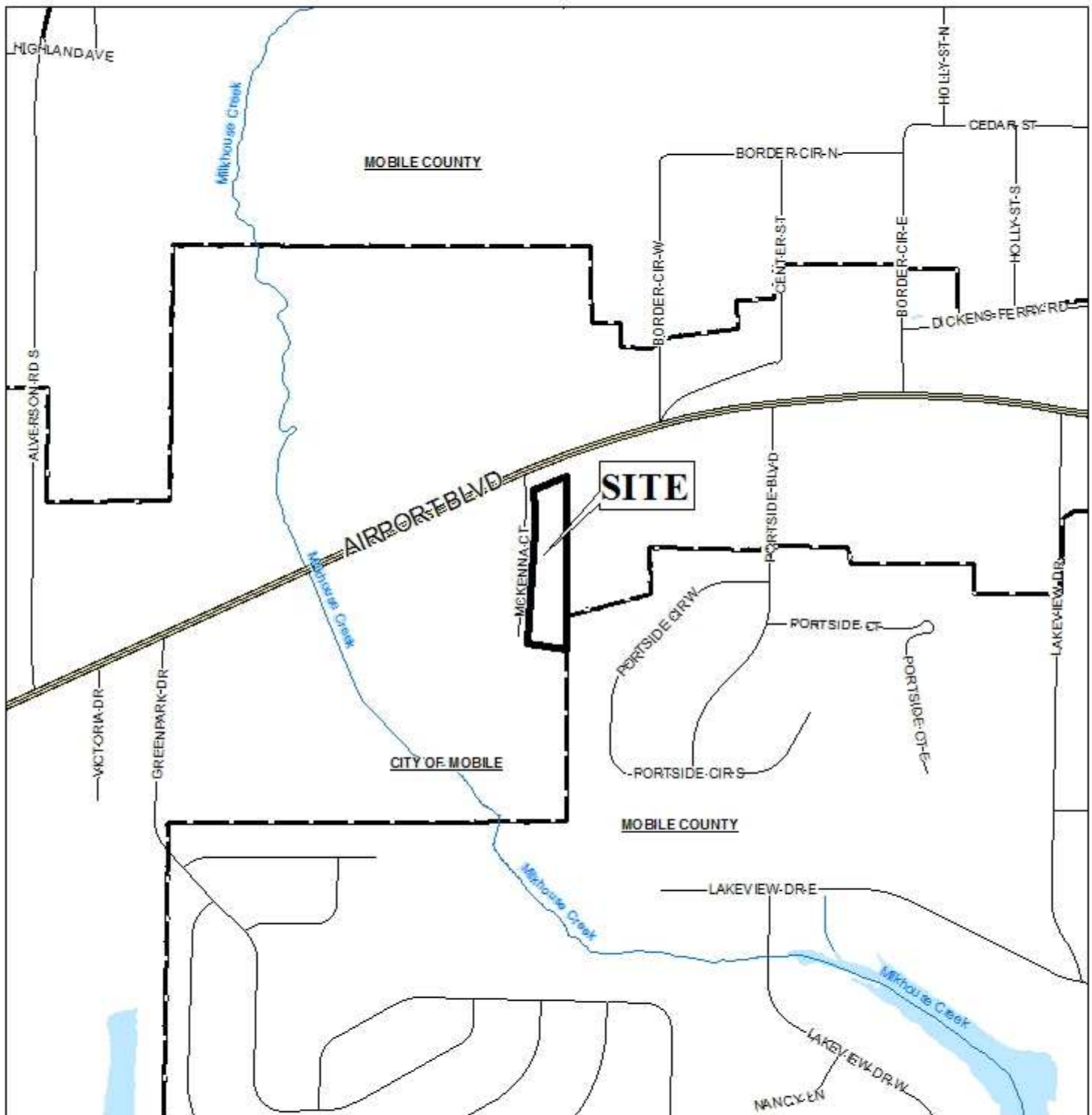
The plat meets the minimum requirements of the Subdivision Regulations and is recommended for tentative approval, subject to the following conditions:

- 1) dedication of a 25' radius curve at the Southeast corner of Airport Boulevard and McKenna Court;
- 2) placement of a note on the Final Plat stating that each lot is limited to one curb cut to McKenna Court, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards;
- 3) placement of a note on the Final Plat stating that Lot 1 is denied access to Airport Boulevard;
- 4) retention of the 25' minimum building setback line along McKenna Court and Airport Boulevard;
- 5) revision of the minimum building setback line at the Southeast corner of Airport Boulevard and McKenna Court to be measured from the required radius curve dedication;
- 6) retention of the lot size labels on the Final Plat, revised for any required dedication, or the furnishing of a table on the Final Plat providing the same information;
- 7) placement of a note on the Final Plat stating that a buffer, in compliance with Section V.A.8. of the Subdivision Regulations, must be provided where the site adjoins any residential use;
- 8) placement of a note on the Final Plat stating that development of this site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species;
- 9) subject to the Engineering comments: *[The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:*
A. *Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. B. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with the of the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045), latest edition. Storm water detention may be required for any existing development (since 1984) that did not receive Land Disturbance permitting and for any future addition(s) and/or land disturbing activity. C. Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photo (FLIGHT 17 - # 77) each lot will receive the following historical credit of impervious area towards stormwater detention requirement per the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045), latest edition, as follows: LOT 1 – NONE; LOT 2 –NONE. D. Add a note to the Plat stating that the approval of all*

applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. E. Provide a written legal description for the proposed subdivision and matching bearing and distance labels, including labeling the POC and POB. F. Provide and label the monument set or found at each subdivision corner. G. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer. H. Provide the Surveyor's Certificate and Signature. I. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. Add a note that sidewalk is required to be constructed along the frontage of each lot at time of development, unless a sidewalk waiver is approved.] ;

- 10) subject to the Traffic Engineering comments: *(Access to Airport Boulevard is denied, and each lot is limited to one curb cut to McKenna Court, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. All on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
- 11) subject to the Urban Forestry comments: *[Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).]; ;*
- 12) subject to the Fire Department comments: *(All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile); and*
- 13) completion of the Subdivision process prior to any request for permits.

LOCATOR MAP



APPLICATION NUMBER 5 DATE July 3, 2014

APPLICANT JESMAR Subdivision

REQUEST Subdivision



JESMAR SUBDIVISION



APPLICATION NUMBER 5 DATE July 3, 2014

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



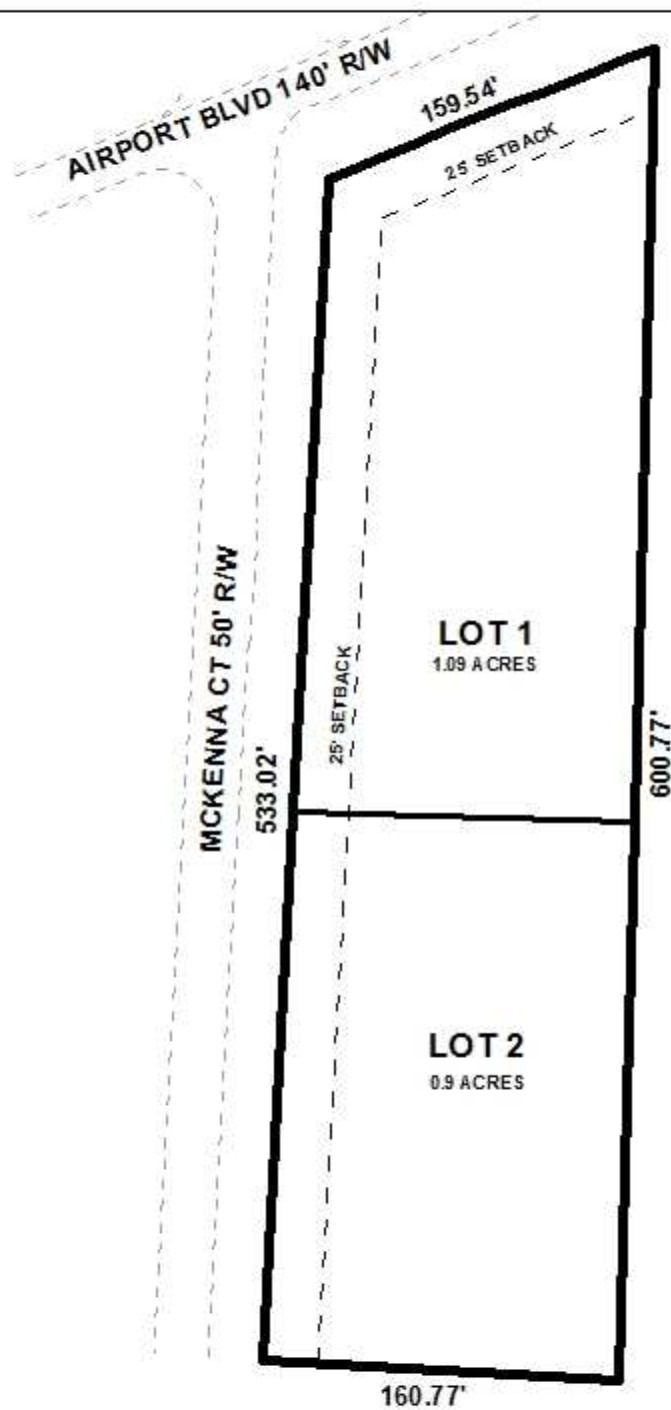
JESMAR SUBDIVISION



APPLICATION NUMBER 5 DATE July 3, 2014



DETAIL SITE PLAN



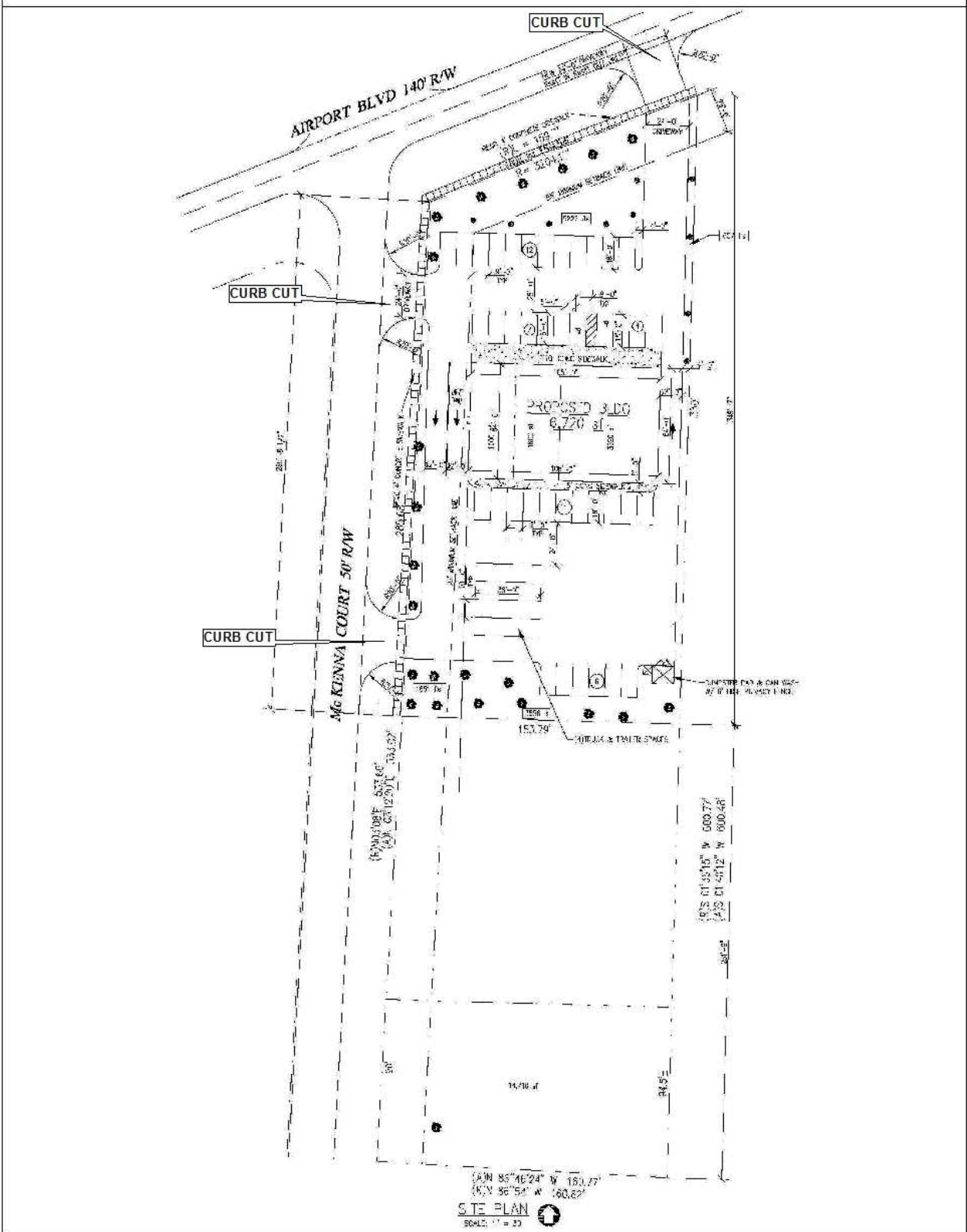
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APPLICANT JESMAR Subdivision

REQUEST Subdivision



DETAIL SITE PLAN



APPLICATION NUMBER 5 DATE July 3, 2014
 APPLICANT JESMAR Subdivision
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REQUEST	Subdivision
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