

JERRY & ROSE PATRICK SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. New public roads shall be constructed and paved to standards for County Maintenance, and accepted by Mobile County, while new private roads shall be constructed and paved to minimum County or Subdivision Regulation standards, whichever are greater.

Fire-Rescue Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWSS Comments: MAWSS has water and sewer services available, but a Capacity Assurance application for **additional** sewer service has not been applied for. MAWSS cannot guarantee **additional** sewer service until a Capacity application is approved by Volkert Engineering Inc.

The plat illustrates the proposed 2-lot, 10.0± acre subdivision which is located on the South side of Hammock Road, 1200'± West of Lake Road South, and is located within the Planning Jurisdiction. The applicant states that the subdivision is served by public water and sanitary sewer systems.

The purpose of this application is to create two legal lots of record from three legal lots of record. The lot sizes are labeled in square feet and acres and would exceed the minimum size requirements of Section V.D.2. of the Subdivision Regulations. The lot sizes should be retained on the Final Plat, if approved.

The site fronts onto Hammock Road, a minor road without curb and gutter. The preliminary plat illustrates Hammock Road with a right-of-way of 60', making no dedications necessary to provide additional right-of-way.

As a mean of access management, a note should be placed on the Final Plat limiting Lot 1 to one curb cut to Hammock Road, and Lot 2 to the two existing curb cuts to Hammock Road, with the size, design, and location of the curb cut to be approved by Mobile County Engineering and conform to AASHTO standards.

This site is located in the County, thus any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. The note regarding this requirement should also appear on the Final Plat, if approved.

The site must comply with the City of Mobile storm water and flood control ordinances. Therefore, a note stating "Must comply with the Mobile County Flood Damage Prevention

Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.” should be placed on the Final Plat.

The 25’ minimum building setback is illustrated along all frontages on the preliminary plat, and should be illustrated on the Final Plat if approved.

It should be noted that the proposed Lot 1 does not meet the standards for width-to-depth ratio. Section V.D.3. of the Subdivision Regulations states that lot depth should not exceed 3.5 times the width of the lot at the building setback. As proposed, Lot 1 will be 90’ wide at the setback line and 1089’ deep, resulting in a lot that is approximately 999’ deeper than would normally be allowed. However, the Planning Commission approved the Resubdivision of Lot 5, Block 7 Hollingers Island, Island Farms with a waiver of Section V.D.3. at its February 20, 1997 meeting, and that site is included in the subject subdivision, making a waiver of Section V.D.3. appropriate.

The site appears to be partially located in the “100-year” and “500-year” frequency flood zones as depicted on FEMA maps, and thus may be subject to flooding. The presence of floodplains indicate that the area may be environmentally sensitive; therefore, the approval of all applicable Federal, state and local agencies would be required prior to the issuance of any permits or land disturbance activities.

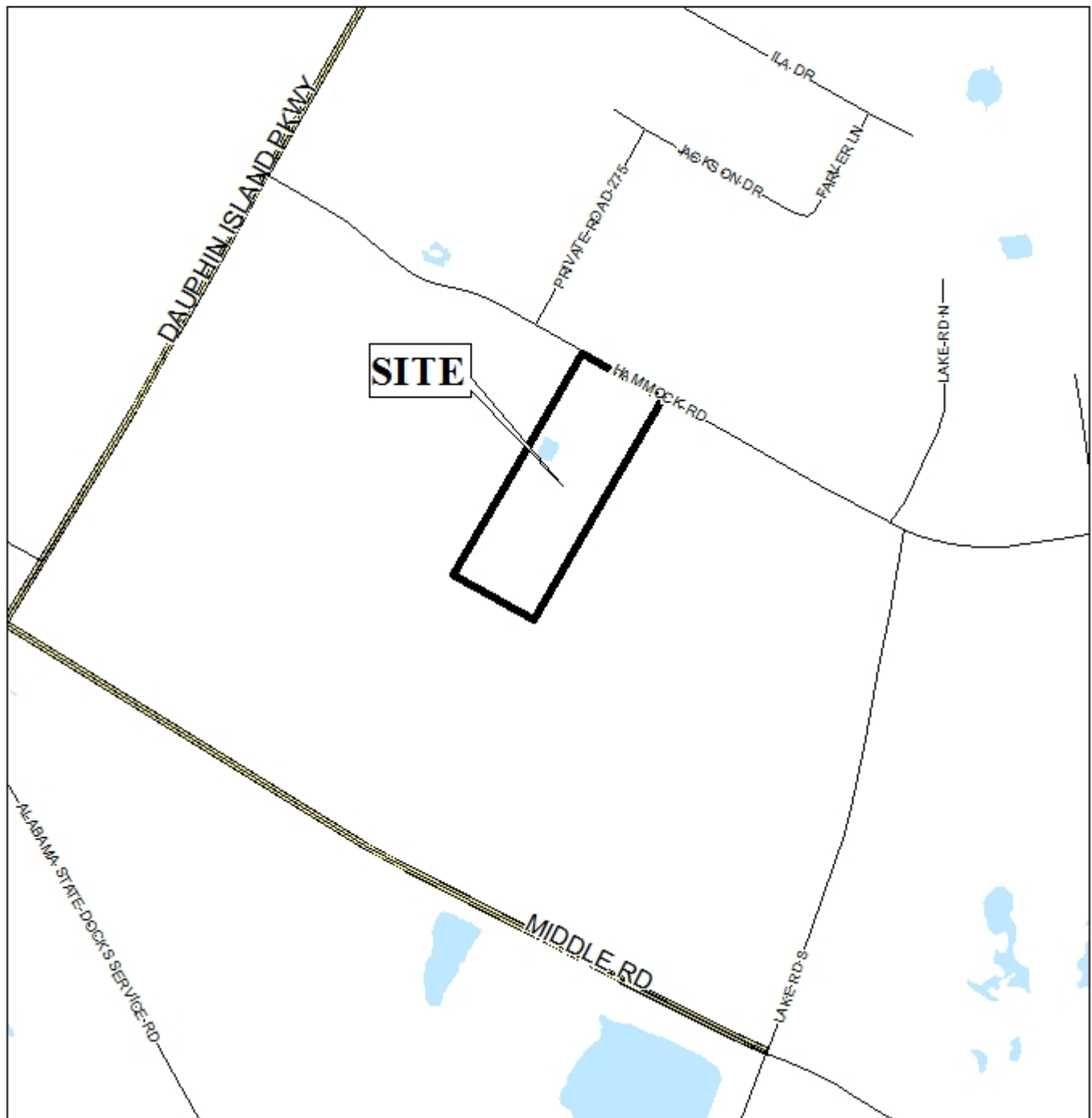
The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species. A note reflecting this requirement should appear on the Final Plat.

Based upon the preceding, this application is recommended for tentative approval with a waiver of Section V.D.3. of the Subdivision Regulations, subject to the following conditions:

- 1) retention of the 25’ minimum building setback line;
- 2) retention of the lot size, in square feet and acres, or provision of a table on the Final Plat with the same information;
- 3) placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations;
- 4) placement of a note on the Final Plat stating the site must comply with the City of Mobile storm water and flood control ordinances: *(Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.);*

- 5) compliance with Fire Department comments (*All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.*);
- 6) placement of a note on the Final Plat stating that approval of all applicable Federal, state and local agencies is required for wetland issues, if any, prior to the issuance of any permits or land disturbance activities;
- 7) placement of a note on the Final Plat limiting Lots 1 to one curb cut to Hammock Road, and Lot 2 to the two existing curb cuts, with the size, design, and location of the curb cuts to be approved by Mobile County Engineering and conform to AASHTO standards; and
- 8) placement of a note on the Final Plat stating that approval of all applicable federal, state, and local agencies is required for endangered, threatened, or otherwise protected species, if any, prior to the issuance of any permits or land disturbance activities.

LOCATOR MAP



APPLICATION NUMBER 5 DATE June 6, 2013

APPLICANT Jerry & Rose Patrick Subdivision

REQUEST Subdivision



JERRY & ROSE PATRICK SUBDIVISION



APPLICATION NUMBER 5 DATE June 6, 2013

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2	NTS
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