

**ZONING AMENDMENT,
PLANNED UNIT DEVELOPMENT &
SUBDIVISION STAFF REPORT****Date: August 2, 2018**

<u>NAME</u>	Haken Holdings
<u>SUBDIVISION NAME</u>	Jaguar Cottages Subdivision
<u>LOCATION</u>	5803, 5807, 5811, & 5812 Waltman Lane (Southwest corner of Waltman Lane [private road] and Long Street).
<u>CITY COUNCIL DISTRICT</u>	District 6
<u>PRESENT ZONING</u>	R-1, Single-Family Residential District
<u>PROPOSED ZONING</u>	R-3, Multiple-Family Residential District
<u>REASON FOR REZONING</u>	An increased need for multi-family housing.
<u>AREA OF PROPERTY</u>	1 Lot / 2.5± Acres
<u>CONTEMPLATED USE</u>	Subdivision approval to create a single legal lot of record from a single legal lot of record and three metes-and-bounds parcels, Planned Unit Development approval to allow multiple buildings on a single building site, and Rezoning from R-1, Single-Family Residential to R-3, Multiple-Family Residential. It should be noted, however, that any use permitted in the proposed district would be allowed at this location if the zoning is changed. Furthermore, the Planning Commission may consider zoning classifications other than that sought by the applicant for this property.
<u>TIME SCHEDULE</u>	Immediate.
<u>ENGINEERING COMMENTS</u>	Subdivision: <u>FINAL PLAT COMMENTS</u> (should be addressed prior to submitting the FINAL PLAT for review and/or signature by the City Engineer): A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale,

bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.

- B. Provide a written legal description for the boundary of the proposed subdivision.
 - C. Add the missing distance in the written legal description.
 - D. Provide and label the monument set or found at each subdivision corner.
 - E. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer.
 - F. Provide the Surveyor's Certificate and Signature.
 - G. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
 - H. Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photo (FLIGHT 20 - #73) LOT A will receive historical credit of existing (1984) impervious area towards stormwater detention requirement per Mobile City Code, Chapter 17, Storm Water Management and Flood Control). Coordinate with City Engineering Department staff to establish the exact amount that each Lot will receive prior to the submittal of the Final Plat from review and signatures.
 - I. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
 - J. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
 - K. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved.
 - L. Add a note to the plat stating that all proposed detention facilities and common areas shall be the responsibility of the Property Owner(s), and not the responsibility of the City of Mobile.
 - M. Add a note to the plat stating that all easements shall remain in effect until vacated through the proper Vacation process.
 - N. Provide a copy of the FINAL SUBDIVISION PLAT to the Engineering Dept. for review.
- No signatures are required on this drawing.

After addressing all of the FINAL SUBDIVISION PLAT review comments by the Engineering Dept. provide the red-line markup, the ORIGINAL (with all other signatures) and one (1) copy of the revised original (signatures not required) of the revised Final Plat to the Engineering Department.

Planned Unit Development:
PLAN:

ADD THE FOLLOWING NOTES TO THE PUD SITE

1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).

2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems and paving will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.
3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
4. Any existing or proposed detention facility shall be maintained as it was constructed and approved. The Land Disturbance Permit application for any proposed construction includes a requirement of a Maintenance and Inspection Plan (signed and notarized by the Owner) for the detention facility. This Plan shall run with the land and be recorded in the County Probate Office prior to the Engineering Department issuing their approval for a Final Certificate of Occupancy.
5. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals.
6. The proposed development must comply with all Engineering Department design requirements and Policy Letters.

Rezoning:

1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).
2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems and paving will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.
3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
4. Any existing or proposed detention facility shall be maintained as it was constructed and approved. The Land Disturbance Permit application for any proposed construction includes a requirement of a Maintenance and Inspection Plan (signed and notarized by the Owner) for the detention facility. This Plan shall run with the land and be recorded in the County Probate Office prior to the Engineering Department issuing their approval for a Final Certificate of Occupancy.

5. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals.
6. The proposed development must comply with all Engineering Department design requirements and Policy Letters.

TRAFFIC ENGINEERING

COMMENTS

A previous traffic impact study has been completed in the vicinity of this project based on growth proposed at that time. Median improvements were required and have been constructed to allow lefts at the intersection of Long Street and Old Shell Road, with a small staging area for northbound lefts prior to merging into traffic on Old Shell Road. The level of service for the intersection of Long Street and Old Shell Road should be reviewed to demonstrate the impacts of this proposed added traffic. Due to the intersection's location between two signalized intersections, a signal will not be installed at this location. A sidewalk will be required to be constructed along the frontage of Long Street and the site sidewalk should connect to the sidewalk in the right-of-way. Site is limited to one curb cut to Long Street with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. All on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

URBAN FORESTRY

COMMENTS

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

FIRE DEPARTMENT

COMMENTS

Residential developments shall meet fire water and fire access requirements as set forth in the 2012 IFC, including section 503, and appendix D and C.

REMARKS

The applicant is requesting Subdivision approval to create a single legal lot of record from a single legal lot of record and three metes-and-bounds parcels, Planned Unit Development approval to allow multiple buildings on a single building site, and Rezoning from R-1, Single-Family Residential to R-3, Multiple-Family Residential.

The purpose of this application is to allow the construction of 27 multi-family residential cottages. Eleven (11) are proposed to be four-bedroom cottages, six (6) are proposed to be three-bedroom cottages, and ten (10) are proposed to be two-bedroom cottages, for a total of 82 bedrooms.

The site has been given a Mixed Commercial Corridor (MCC) land use designation, per the Future Land Use Plan and Map, adopted on May 18, 2017 by the Planning Commission. The Future Land Use Plan and Map complements and provides additional detail to the Development

Framework Maps in the Map for Mobile, adopted by the Planning Commission at its November 5, 2015 meeting.

This land use designation mostly applies to transportation corridors west of I-65 serving primarily the low-density (suburban) residential neighborhoods. MCC includes a wide variety of retail, services and entertainment uses.

This designation acknowledges existing commercial development that is spread along Mobile's transportation corridors in a conventional strip pattern or concentrated into shorter segments of a corridor.

Over time, new development and redevelopment in Mixed Commercial Corridors is encouraged to raise design quality, improve connectivity to surrounding neighborhoods; improved streetscapes; and improve mobility and accessibility for all users of the corridor.

It should be noted that the Future Land Use Plan and Map components of the Map for Mobile Plan are meant to serve as a general guide, not a detailed lot and district plan. In many cases the designation on the new Future Land Use Map may match the existing use of land, but in others the designated land use may differ from what is on the ground today. As such, the Future Land Use Plan and Map allows the Planning Commission and City Council to consider individual cases based on additional information such as the classification request, the surrounding development, the timing of the request, and the appropriateness and compatibility of the proposed use and, where applicable, the zoning classification.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The lot size is provided in square feet and acres, and should be retained on the Final Plat, if approved.

The site has frontage on Long Street, which is a minor street with curb and gutter, and has a compliant existing right-of-way of 50 feet, making no dedication necessary. The site plan submitted illustrates a sidewalk along Long Street, and should be retained on the site plan, if approved.

As a means of access management, the site should be limited to a single curb cut to Long Street, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

The preliminary plat does not depict the 25' minimum building setback line along Long Street. If approved, the Final Plat should be revised to depict the setback.

As stated in Section 64-9. of the Zoning Ordinance, the intent of the Ordinance and corresponding Zoning Map is to carry out the comprehensive planning objective of sound, stable and desirable development. While changes to the Ordinance are anticipated as the city grows, the established public policy is to amend the ordinance only when one or more of the following conditions prevail: 1) there is a manifest error in the Ordinance; 2) changing conditions in a particular area make a change in the Ordinance necessary and desirable; 3) there is a need to increase the number of sites available to business or industry; or 4) the subdivision of land into building sites makes reclassification of the land necessary and desirable.

The applicant states:

PLAN CONSISTENCY

The FLUM depicts this area as Mixed Density Residential and Mixed Commercial Corridor. This development meets the intent of the FLUM for this area by increasing residential density and providing additional pedestrian amenities.

REZONING

Rezoning is required for the proposed development to allow a multifamily residential use. The rezoning is appropriate for this area because the neighboring properties are zoned R-3 to the west and south, B-2 to the north, and B-3 to the east. Rezoning to R-3 and providing a multi-family residential use makes this development more compatible with the surrounding properties.

While the property to the South of the site is classified as Mixed Density Residential on the FLUM, the subject site itself is actually Mixed Commercial Corridor as previously stated.

The site is bounded to the North by B-2, Neighborhood Business District; to the East by B-2, Neighborhood Business District, B-3, Community Business District, and R-3, Multiple-Family Residential District; to the West by B-2, Neighborhood Business District and R-3, Multiple-Family Residential District; and to the South by R-3, Multiple-Family Residential District.

Given the size of the subject property, and the surrounding zoning classifications, if the proposed rezoning were approved, it would not result in what is considered spot zoning. Furthermore, the street the site has frontage on is only accessed by either commercial developments or multi-family housing.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus if any new construction is anticipated that will change an approved site plan, an application to amend an existing, approved PUD must be made

prior to any construction activities. It should be noted that if no permits are pulled within a year of approval, the PUD will expire.

In pursuit of these purposes, the objectives to be met by a PUD are as follows: a) to encourage innovative and diversified design in building form and site development; b) flexibility, to permit greater flexibility in the location and arrangement of buildings and uses than is generally possible under district regulations; c) to encourage the most efficient and sustainable use of land, especially tracts in the inner part of the city that remain undeveloped or that are appropriate for re-development; d) to preserve and protect as urban amenities the natural features and characteristics of land; e) to encourage the provision of common open space through efficient site design; and, f) to encourage optimum use of available public utilities, streets and community facilities.

It should be noted that several residences and accessory structures are currently on the site. Therefore, prior to approval of any land disturbance or building permits, all structures will need to be removed from the site with appropriate permits.

The site plan includes information regarding landscape area and tree plantings. It appears that the site will have a shortage of front landscaped area; however the Planning Commission does have some flexibility with Planned Unit Developments, and may waive this requirement. The proposed layout exceeds the minimum amount of total landscape area, as well as the minimum amount of open space for multi-family residential PUDs per Section 64-5.C.2.c. of the Zoning Ordinance. The site plan indicates that a compliant number of frontage trees will be planted, and that “perimeter and parking trees will be installed per guidance by the Urban Forester or City Ordinance”.

The site is located within the area impacted by the amended multi-family parking requirements adopted by the City Council in 2015. The amendment requires “One (1) space per bedroom plus 10% of the total amount of spaces” for the development, which staff calculates to be $82 \times 1.1 = 90.2$, or 91 required parking spaces. It appears that the site will provide 95 parking spaces, thereby exceeding the minimum required amount.

As the site will have more than 25 parking spaces, full compliance with Section 64-6.A.8. of the Zoning Ordinance will be required. A photometric plan will be required at time of submittal for land disturbance permits.

The site plan indicates that a 6' high fence will be provided around the perimeter of the site with a gated entrance, but does not specify what type of fence. If approved, the site plan should be revised to indicate the type of fence. The site plan illustrates that three compliant queuing spaces will be provided between the gate and the front property line, and should be retained on the site plan, if approved. A pedestrian gate is provided to allow access from the proposed development to Long Street.

A sidewalk is illustrated along the frontage of Long Street, and should be retained on the site plan, if approved.

It should be noted that the City of Mobile does not provide curb side pickup for commercial or multi-family developments. A note on the site plan indicates that individual trash cans will be utilized for the cottages. However, if the applicant decides that a dumpster is desirable, the site will need to come back to the Planning Commission.

RECOMMENDATION

Subdivision: The Subdivision request is recommended for Tentative Approval, subject to the following conditions:

- 1) Retention of the lot size in square feet and acres;
- 2) Illustration of the 25' minimum building setback along Long Street;
- 3) Placement of a note stating the site is limited to a single curb cut to Long Street, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards;
- 4) Obtain permits for removal of all dwellings and accessory structures prior to the signing of the Final Plat;
- 5) Compliance with Engineering comments (*FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for review and/or signature by the City Engineer): A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. B. Provide a written legal description for the boundary of the proposed subdivision. C. Add the missing distance in the written legal description. D. Provide and label the monument set or found at each subdivision corner. E. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer. F. Provide the Surveyor's Certificate and Signature. G. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. H. Add a note to the SUBDIVISION PLAT stating that as shown on the 1984 aerial photo (FLIGHT 20 - #73) LOT A will receive historical credit of existing (1984) impervious area towards stormwater detention requirement per Mobile City Code, Chapter 17, Storm Water Management and Flood Control). Coordinate with City Engineering Department staff to establish the exact amount that each Lot will receive prior to the submittal of the Final Plat from review and signatures. I. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. J. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. K. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved. L. Add a note to the plat stating that all proposed detention facilities and common areas shall be the responsibility of the Property Owner(s), and not the responsibility of the City of*

Mobile. M. Add a note to the plat stating that all easements shall remain in effect until vacated through the proper Vacation process. N. Provide a copy of the FINAL SUBDIVISION PLAT to the Engineering Dept. for review. No signatures are required on this drawing. After addressing all of the FINAL SUBDIVISION PLAT review comments by the Engineering Dept. provide the red-line markup, the ORIGINAL (with all other signatures) and one (1) copy of the revised original (signatures not required) of the revised Final Plat to the Engineering Department.);

- 6) *Compliance with Traffic Engineering comments (A previous traffic impact study has been completed in the vicinity of this project based on growth proposed at that time. Median improvements were required and have been constructed to allow lefts at the intersection of Long Street and Old Shell Road, with a small staging area for northbound lefts prior to merging into traffic on Old Shell Road. The level of service for the intersection of Long Street and Old Shell Road should be reviewed to demonstrate the impacts of this proposed added traffic. Due to the intersection's location between two signalized intersections, a signal will not be installed at this location. A sidewalk will be required to be constructed along the frontage of Long Street and the site sidewalk should connect to the sidewalk in the right-of-way. Site is limited to one curb cut to Long Street with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. All on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
- 7) *compliance with Urban Forestry comments (Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).);*
- 8) *compliance with Fire comments (All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code)); and*
- 9) *provide two (2) copies of the revised PUD site plan, if approved, prior to the signing of the Final Plat.*

Planned Unit Development: Staff recommends the following Findings of Fact for Approval of the Planned Unit Development:

- a. the proposal promotes the objective of Creative design (to encourage innovative and diversified design in building form and site development), because it allows for the configuration of a site to meet housing needs;
- b. the proposal promotes the objective of Efficient land use (to encourage the most efficient and sustainable use of land, especially tracts in the inner part of the city that remain undeveloped or that are appropriate for redevelopment), because of utilizing infill development practices;
- c. the proposal promotes the objective of Environment (to preserve and protect as urban amenities the natural features and characteristics of the land), because the project does not eliminate any existing urban amenities or natural features, and the existing urban fabric is retained;
- d. the proposal promotes the objective of Public services (to encourage optimum use of available public utilities, streets and community facilities), because no new public infrastructure must be constructed to develop the site as planned.

Based upon the preceding, the application is recommended for Approval, subject to the following:

- 1) Retention of the 25' minimum building setback line along Long Street;
- 2) Placement of a note stating the site is limited to a single curb cut to Long Street, with the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards;
- 3) Retention of the sidewalk along Long Street;
- 4) Retention of the note on the site plan stating "perimeter and parking trees will be installed per guidance by the Urban Forester or City Ordinance";
- 5) Revision of the site plan to indicate what type of fence the "6' fence" will be;
- 6) Placement of a note on the site plan stating the if a dumpster is desired instead of curb side pickup, the site will need to come back to the Planning Commission
- 7) Compliance with Engineering comments: (*ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN: 1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems and paving will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. 3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 5. Any existing or proposed detention facility shall be maintained as it was constructed and approved. The Land Disturbance Permit application for any proposed construction includes a requirement of a Maintenance and Inspection Plan (signed and notarized by the Owner) for the detention facility. This Plan shall run with the land and be recorded in the County Probate Office prior to the Engineering Department issuing their approval for a Final Certificate of Occupancy. 6. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals. 7. The proposed development must comply with all Engineering Department design requirements and Policy Letters.);*
- 8) Compliance with Traffic Engineering comments: (*A previous traffic impact study has been completed in the vicinity of this project based on growth proposed at that time. Median improvements were required and have been constructed to allow lefts at the intersection of Long Street and Old Shell Road, with a small staging area for northbound lefts prior to merging into traffic on Old Shell Road. The level of service for the intersection of Long Street and Old Shell Road should be reviewed to demonstrate the*

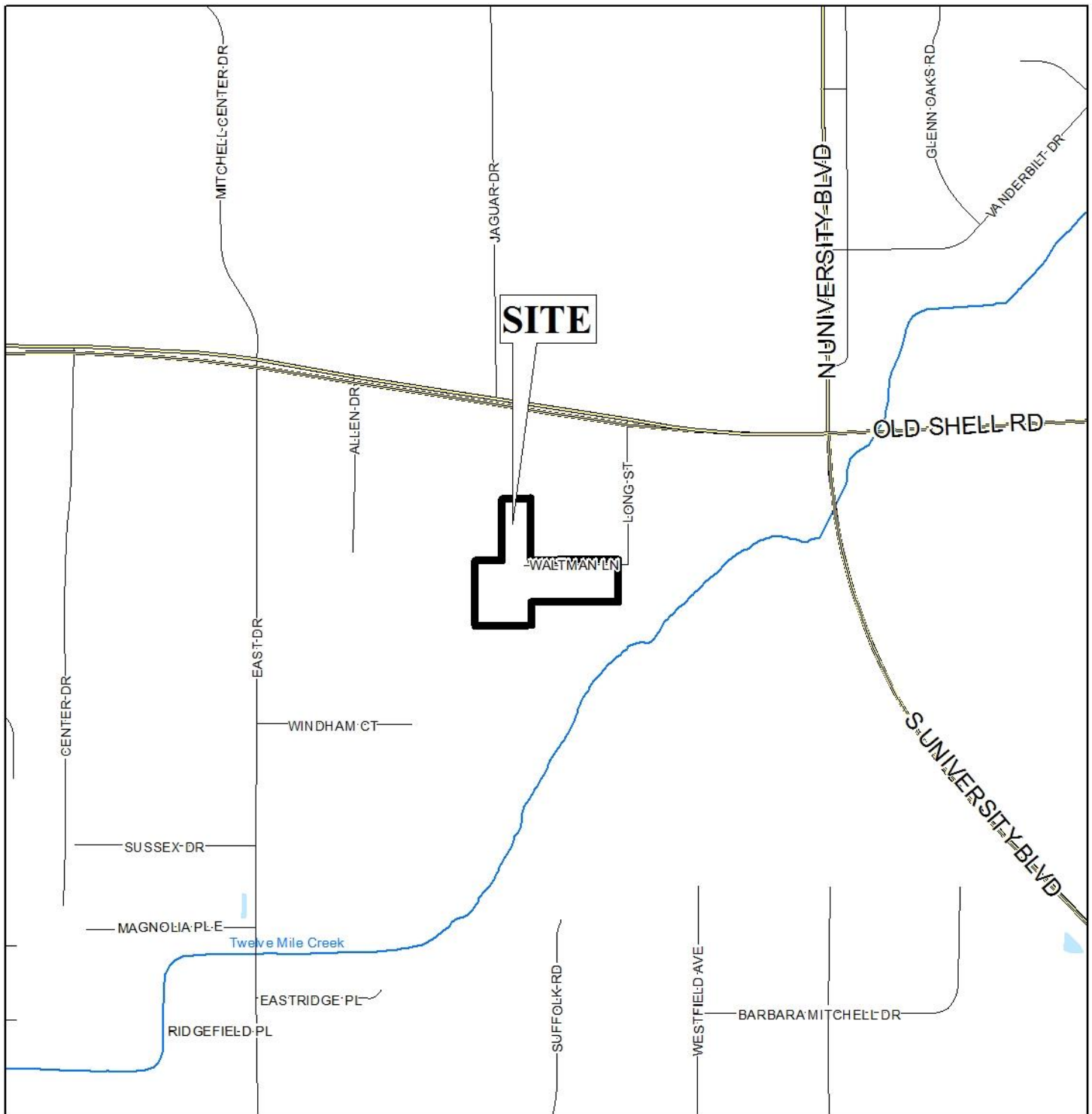
impacts of this proposed added traffic. Due to the intersection's location between two signalized intersections, a signal will not be installed at this location. A sidewalk will be required to be constructed along the frontage of Long Street and the site sidewalk should connect to the sidewalk in the right-of-way. Site is limited to one curb cut to Long Street with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. All on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);

- 9) Compliance with Urban Forestry comments: *(Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).);*
- 10) Compliance with Fire comments: *(All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code));*
- 11) Provide two (2) copies of the revised PUD site plan, if approved, prior to the signing of the Final Plat; and
- 12) Provision of a photometric plan at time of application for land disturbance.

Rezoning: The rezoning request is recommended for Approval, subject to the following conditions:

- 1) Completion of the Subdivision process; and
- 2) Full compliance with all municipal codes and ordinances.

LOCATOR MAP



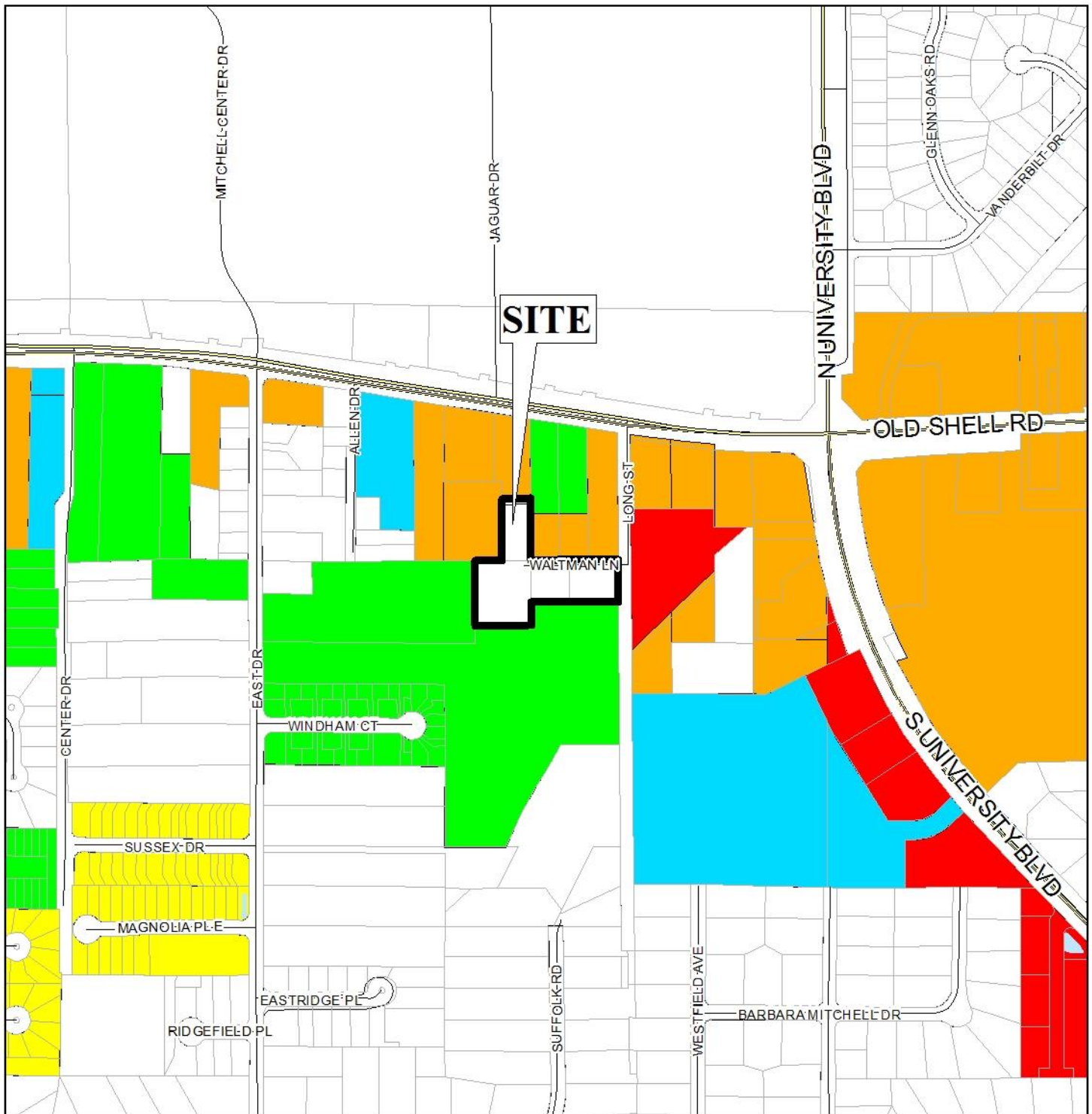
APPLICATION NUMBER 5 DATE August 2, 2018

APPLICANT Jaguar Cottages Subdivision

REQUEST Subdivision, PUD, Rezoning from R-1 to R-3



LOCATOR ZONING MAP



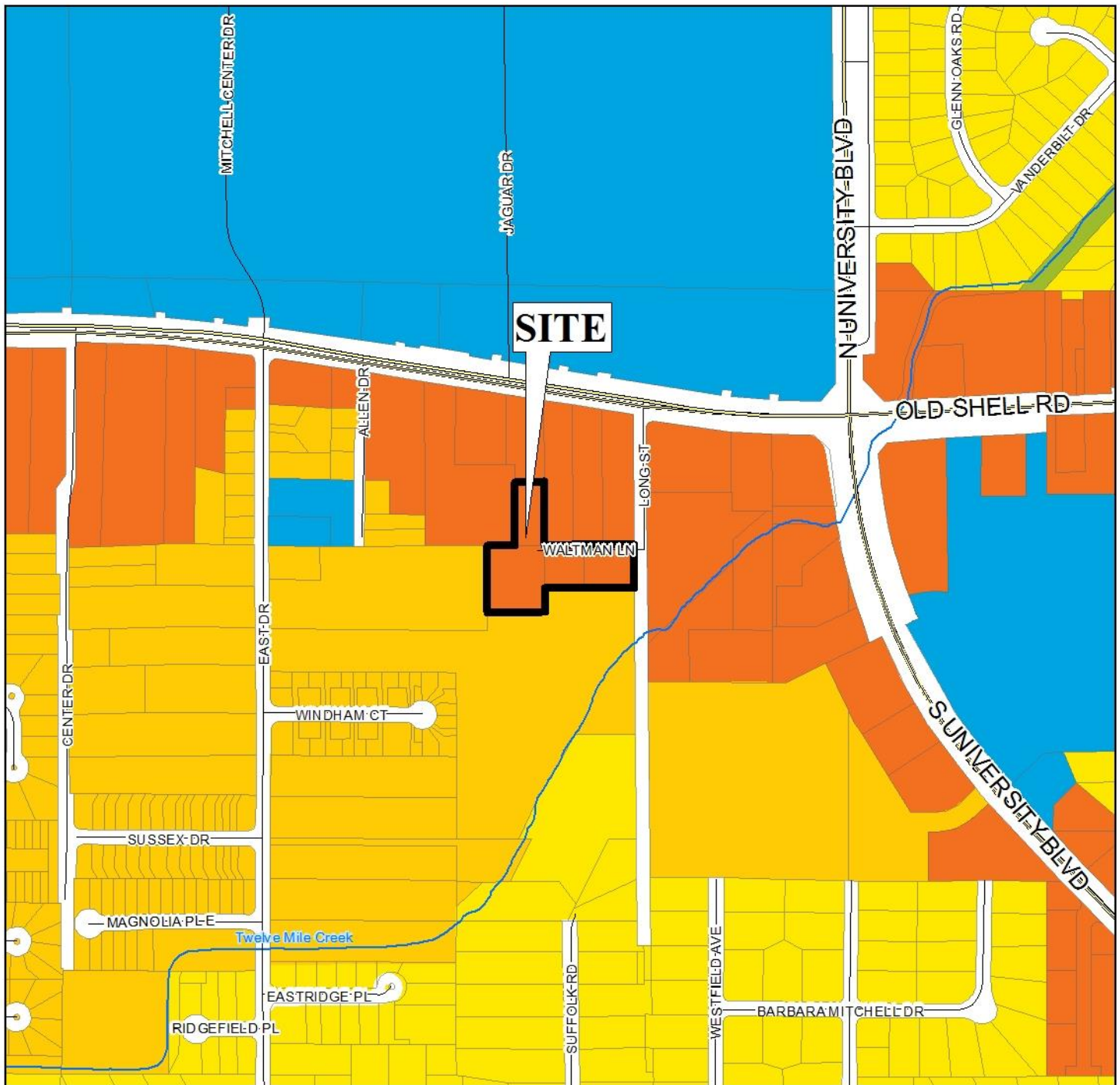
APPLICATION NUMBER 5 DATE August 2, 2018

APPLICANT Jaguar Cottages Subdivision

REQUEST Subdivision, PUD, Rezoning from R-1 to R-3



FLUM LOCATOR MAP



APPLICATION NUMBER 5 DATE August 2, 2018

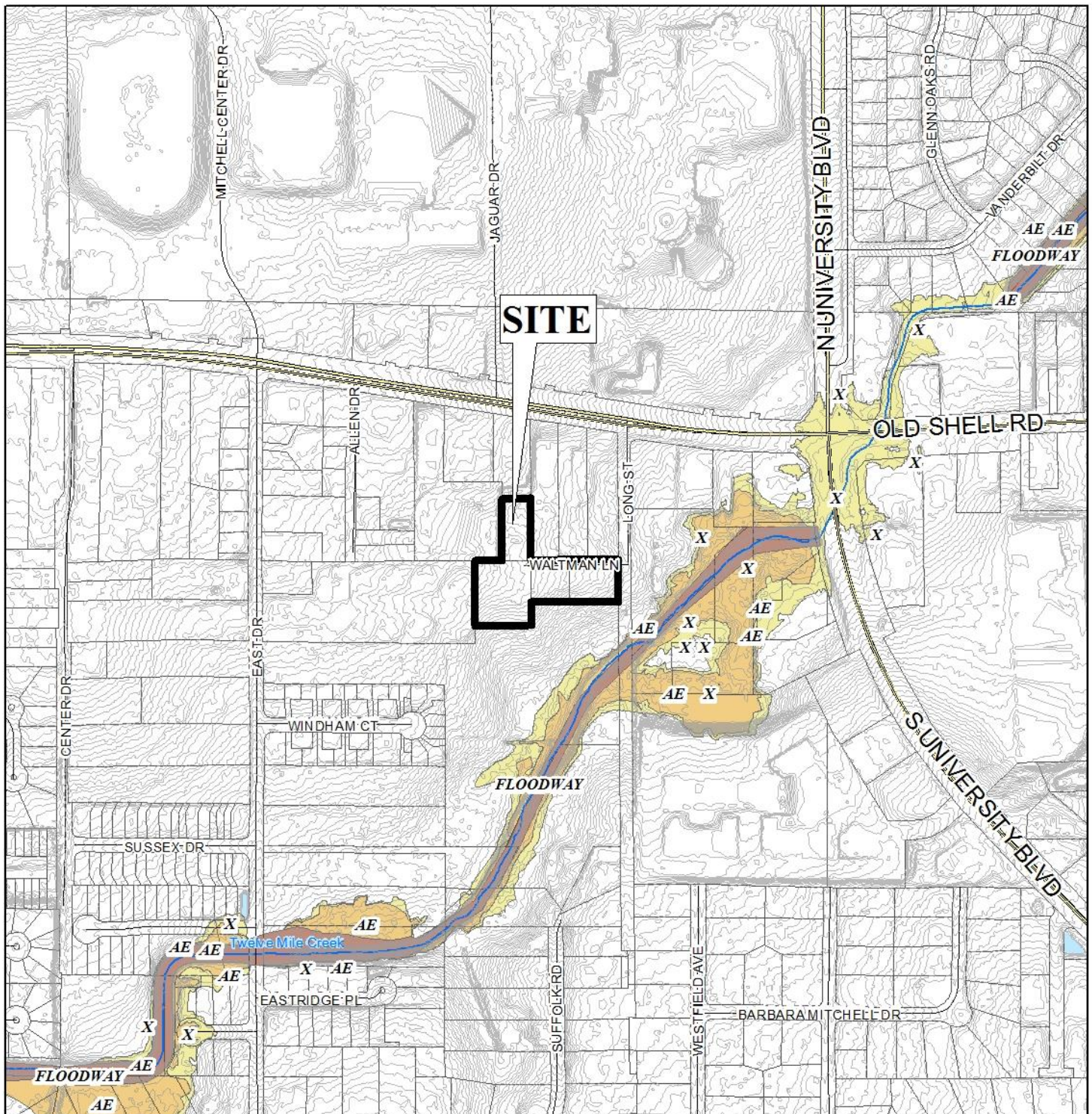
APPLICANT Jaguar Cottages Subdivision

REQUEST Subdivision, PUD, Rezoning from R-1 to R-3

Low Density Residential	Neighborhood Center - Traditional	Downtown Waterfront	Parks & Open Space
Mixed Density Residential	Neighborhood Center - Suburban	Light Industry	Water Dependent
Downtown	Traditional Corridor	Heavy Industry	
District Center	Mixed Commercial Corridor	Institutional	



ENVIRONMENTAL LOCATOR MAP



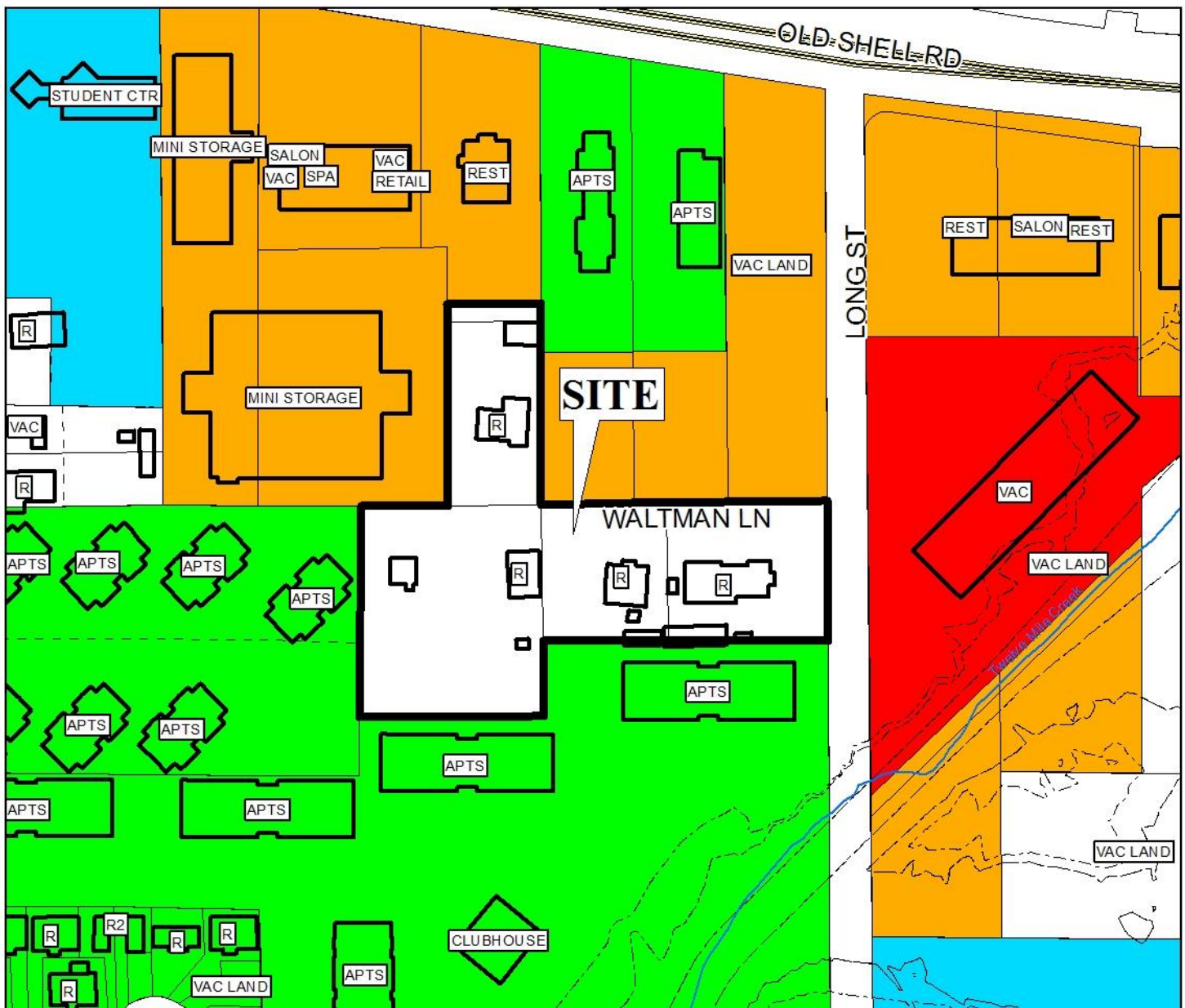
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APPLICANT Jaguar Cottages Subdivision

REQUEST Subdivision, PUD, Rezoning from R-1 to R-3



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by residential units to the south and north.
Commercial units are located to the northwest and northeast.

APPLICATION NUMBER 5 DATE August 2, 2018

APPLICANT Jaguar Cottages Subdivision

REQUEST Subdivision, PUD, Rezoning from R-1 to R-3

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



PLANNING COMMISSION VICINITY MAP - EXISTING AERIAL



The site is surrounded by residential units to the south and north.
Commercial units are located to the northwest and northeast.

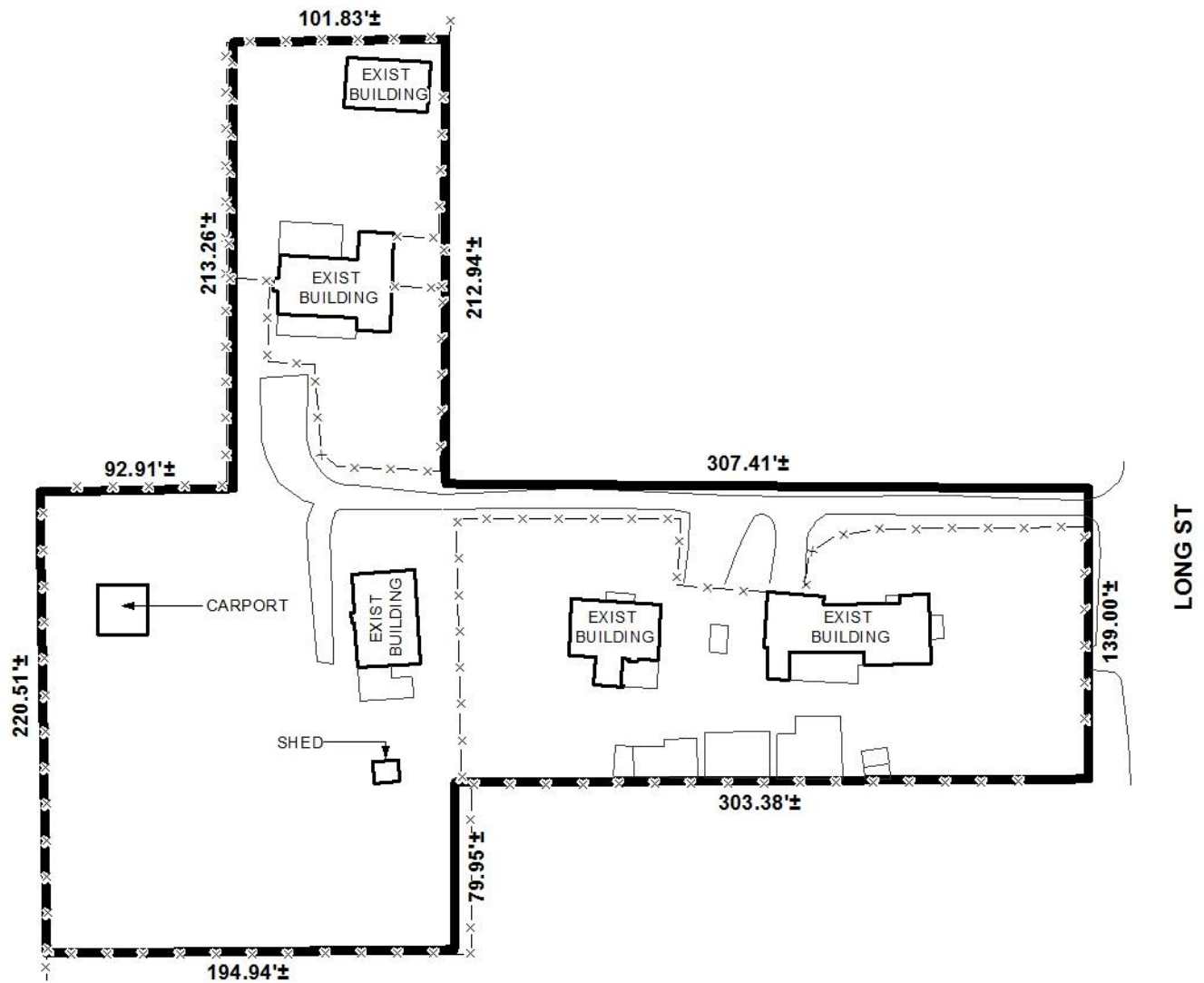
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APPLICANT Jaguar Cottages Subdivision

REQUEST Subdivision, PUD, Rezoning from R-1 to R-3



EXISTING SITE PLAN



The site plan illustrates the existing buildings.

APPLICATION NUMBER 5 DATE August 2, 2018

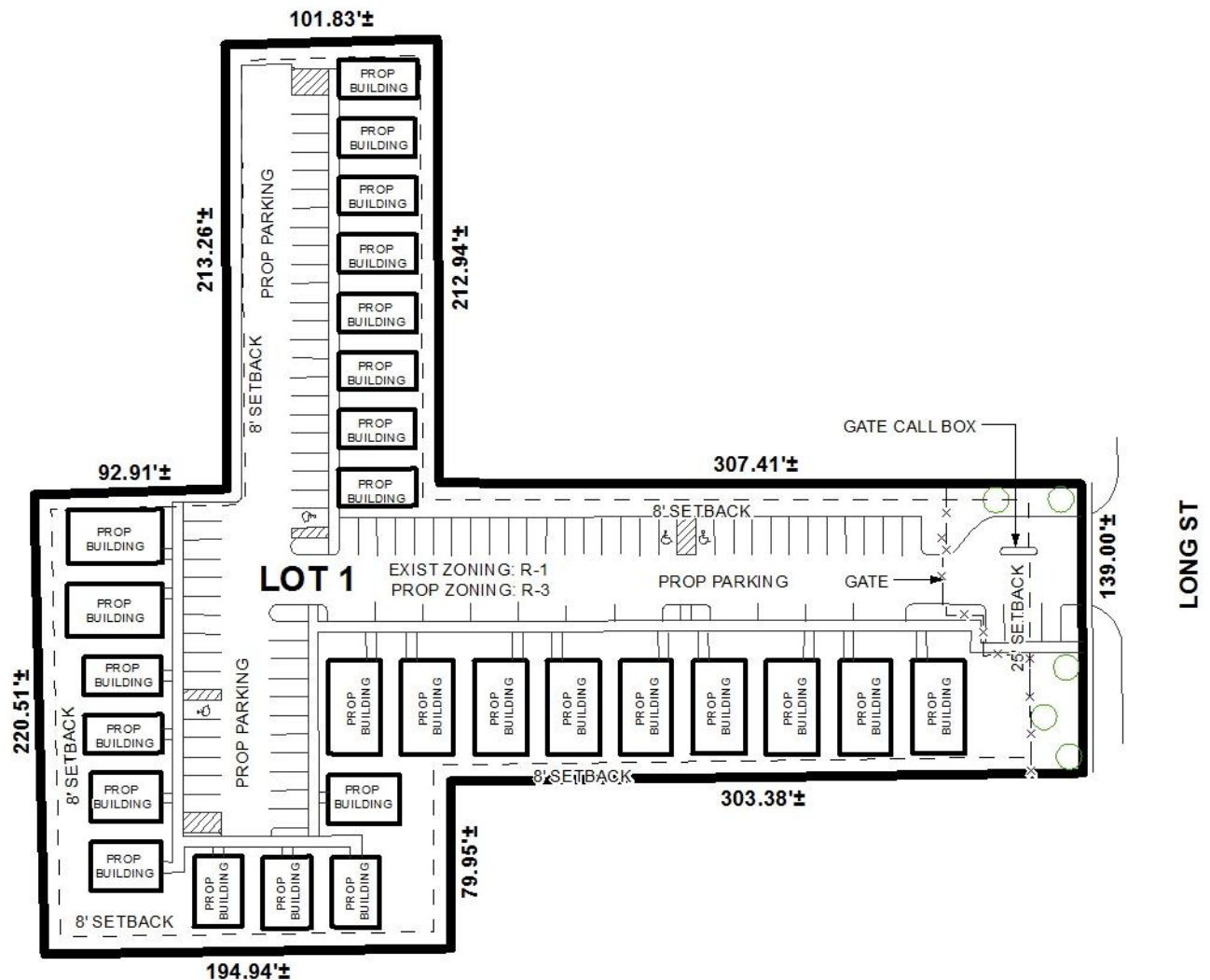
APPLICANT Jaguar Cottages Subdivision

REQUEST Subdivision, PUD, Rezoning from R-1 to R-3



NTS

PROPOSED SITE PLAN



The site plan illustrates the setbacks, proposed buildings, and proposed parking.

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REQUEST Subdivision, PUD, Rezoning from R-1 to R-3



NTS

