

## **HOWARD & JEAN'S PLACE SUBDIVISION,** **RESUBDIVISION OF LOT 3**

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire-Rescue Department Comments: All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).

MAWSS Comments: No comments.

The preliminary plat illustrates the proposed 2-lot, 13.1± acre subdivision which is located on the Southwest corner of Bay Road and Dauphin Island Parkway. The site is within the Planning Jurisdiction and the applicant states that the subdivision is served by public water and individual septic tanks. The purpose of this application is to create two (2) lots of record from one (1) legal lot of record.

The proposed lots front Bay Road and Dauphin Island Parkway. This portion of Dauphin Island Parkway is a minor street without curb and gutter as is Bay Road, and therefore both should have a right-of-way of 60'. The preliminary plat illustrates a right-of-way of 80' for Bay Road, and 70' for Dauphin Island Parkway. No dedication is necessary to provide additional right-of-way. However, if approved, dedication at the intersection to provide a curb radii compliant with Section V.D.6. of the Subdivision Regulations should be required. If approved, the right-of-way widths should be retained on the Final Plat.

The preliminary plat illustrates building setback lines along Bay Road and Dauphin Island Parkway. If approved, the 25' minimum building setback along both frontages should be retained on the Final Plat.

In accordance with Section V.D.2. of the Subdivision Regulations, the proposed lots each exceed the 15,000 square foot minimum lot size requirement for lots served by public water and individual septic systems. The lot size information for each lot is depicted in both square feet and in acres on the preliminary plat and should be retained on the Final Plat, if approved.

As a means of access management, a note should be placed on the Final Plat, if approved, stating that Lot 3-A is limited to one curb and Lot 3-B is limited to one curb cut to Bay Road and one curb cut to Dauphin Island Parkway, with the size, design and location of the curb cut to be approved by Mobile County Engineering and conform to AASHTO standards.

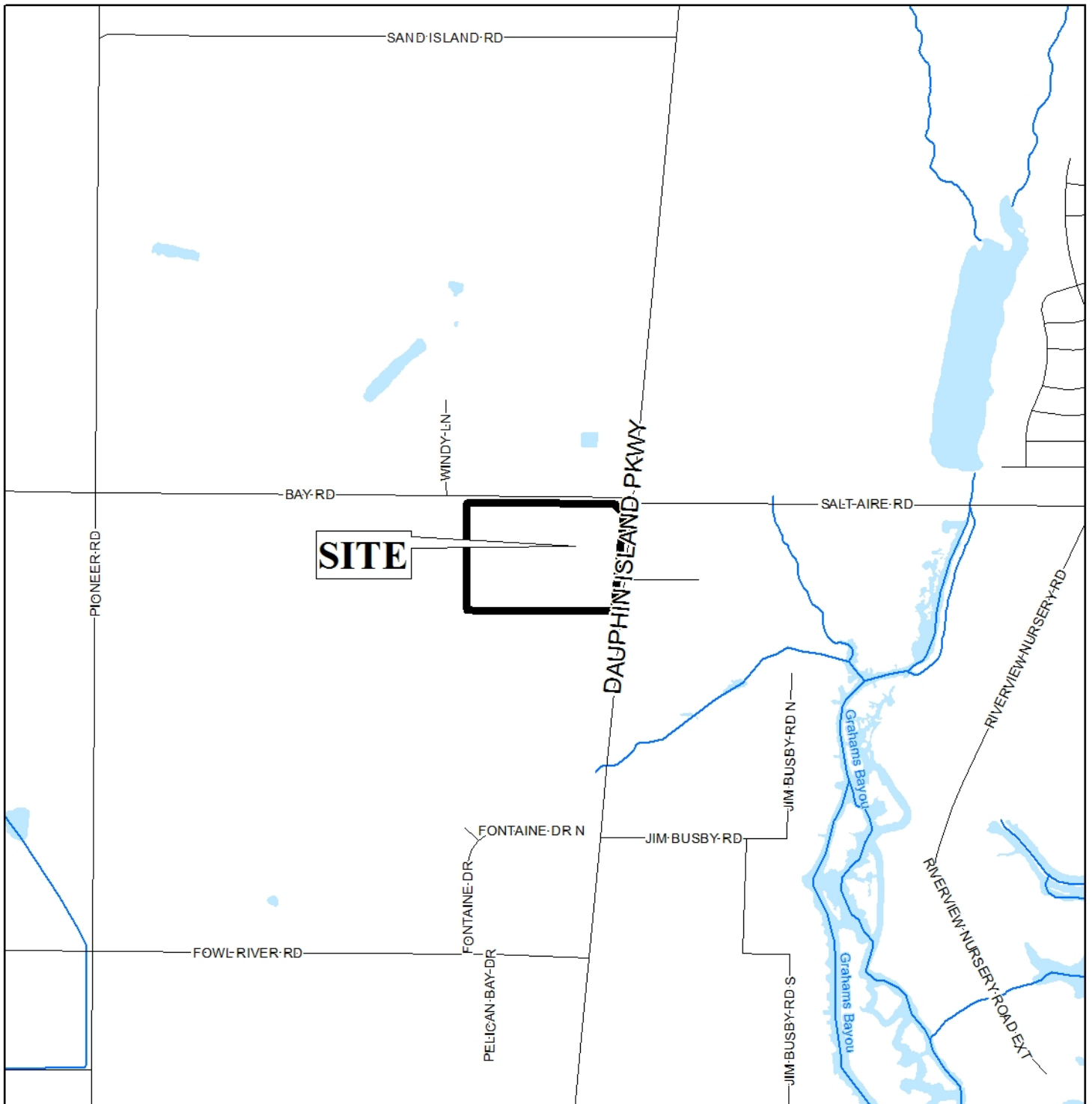
Although the site does not have any wetlands nor is it located in a flood zone, it is close in proximity to Mobile Bay, and Grahams Bayou, which flows into Mobile Bay, and the area may be environmentally sensitive; therefore, the approval of all applicable Federal, state and local agencies would be required prior to the issuance of any permits or land disturbance activities.

This site is located in the County; therefore, any lots which are developed commercially and adjoin residentially-developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. A note should be placed on the Final Plat, if approved.

Based upon the preceding, this application is recommended for Tentative Approval, subject to the following conditions:

- 1) Dedication to provide curb radii at the intersection of Bay Road and Dauphin Island Parkway compliant with Section V.D.6. of the Subdivision Regulations;
- 2) Retention of 25' minimum building setback line along Bay Road and Dauphin Island Parkway;
- 3) Retention of the lot size information in both square and in acres on the Final Plat, adjusted for dedication;
- 4) Placement of a note on the Final Plat stating that Lot 3-A is limited to one curb cut to Bay Road and Lot 3-B is limited to one curb cut to Bay Road and one curb cut to Dauphin Island Parkway, with the size, design and location of the curb-cut to be approved by Mobile County Engineering and conform to AASHTO standards;
- 5) Placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations;
- 6) Compliance with Engineering Comments and placement as a note on the Final Plat: *(Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.); and*
- 7) Compliance with Fire Comment: *(All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).*

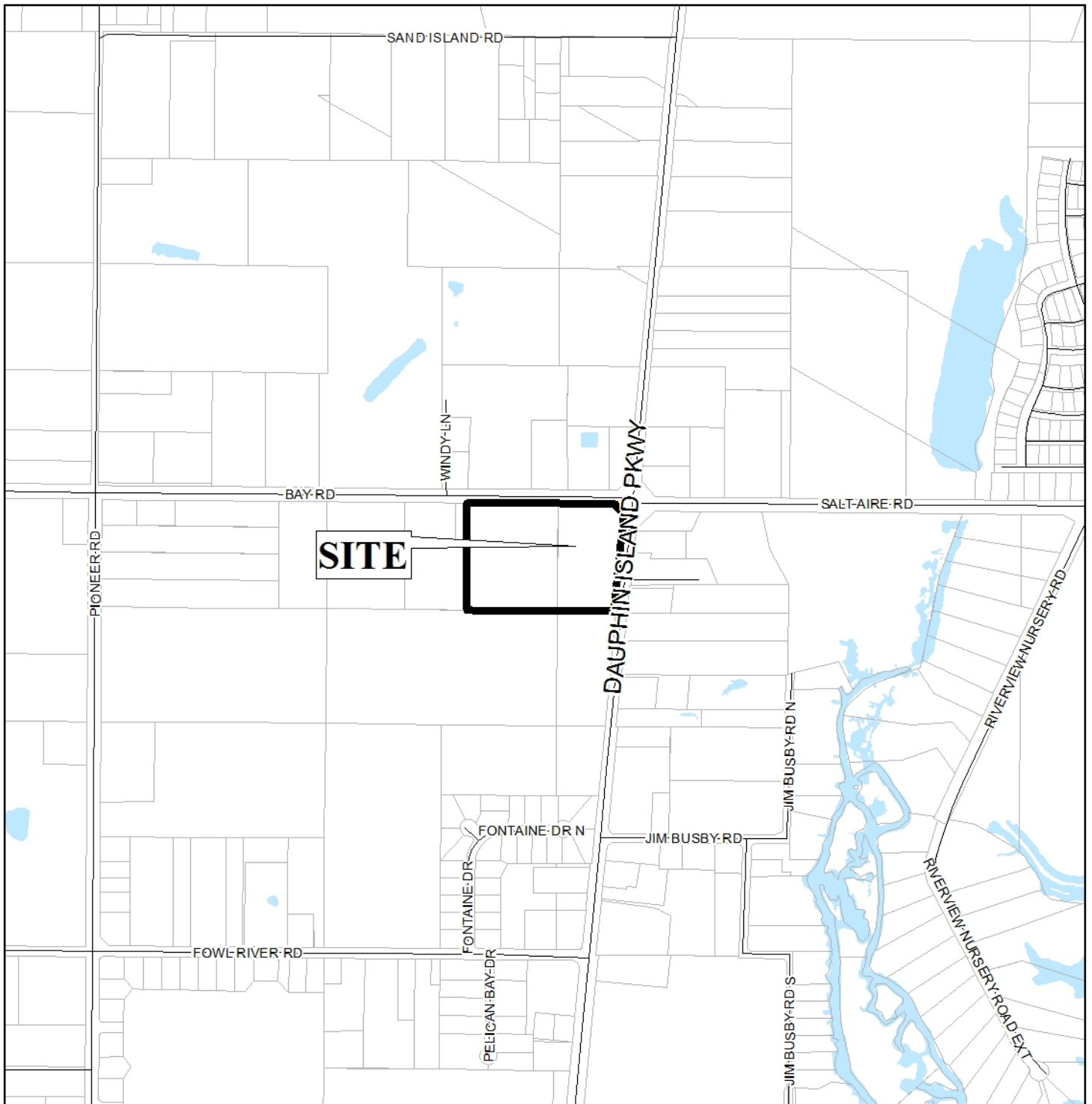
# LOCATOR MAP



APPLICATION NUMBER 5 DATE December 7, 2017  
 APPLICANT Howard & Jean's Place Subdivision, Resubdivision of Lot 3  
 REQUEST Subdivision



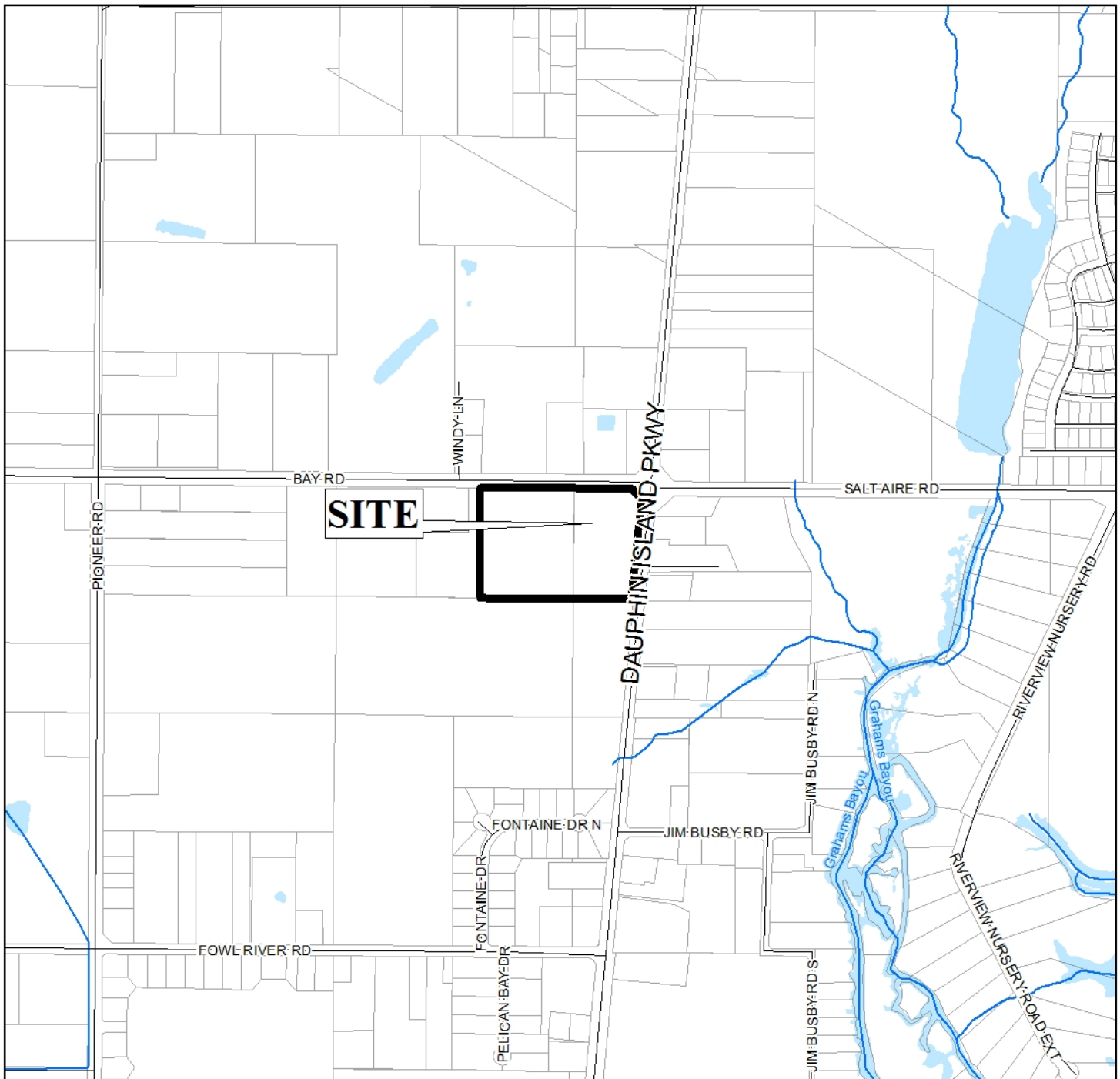
# LOCATOR ZONING MAP



APPLICATION NUMBER 5 DATE December 7, 2017  
APPLICANT Howard & Jean's Place Subdivision, Resubdivision of Lot 3  
REQUEST Subdivision



# FLUM LOCATOR MAP



APPLICATION NUMBER 5 DATE December 7, 2017

APPLICANT Howard & Jean's Place Subdivision, Resubdivision of Lot 3

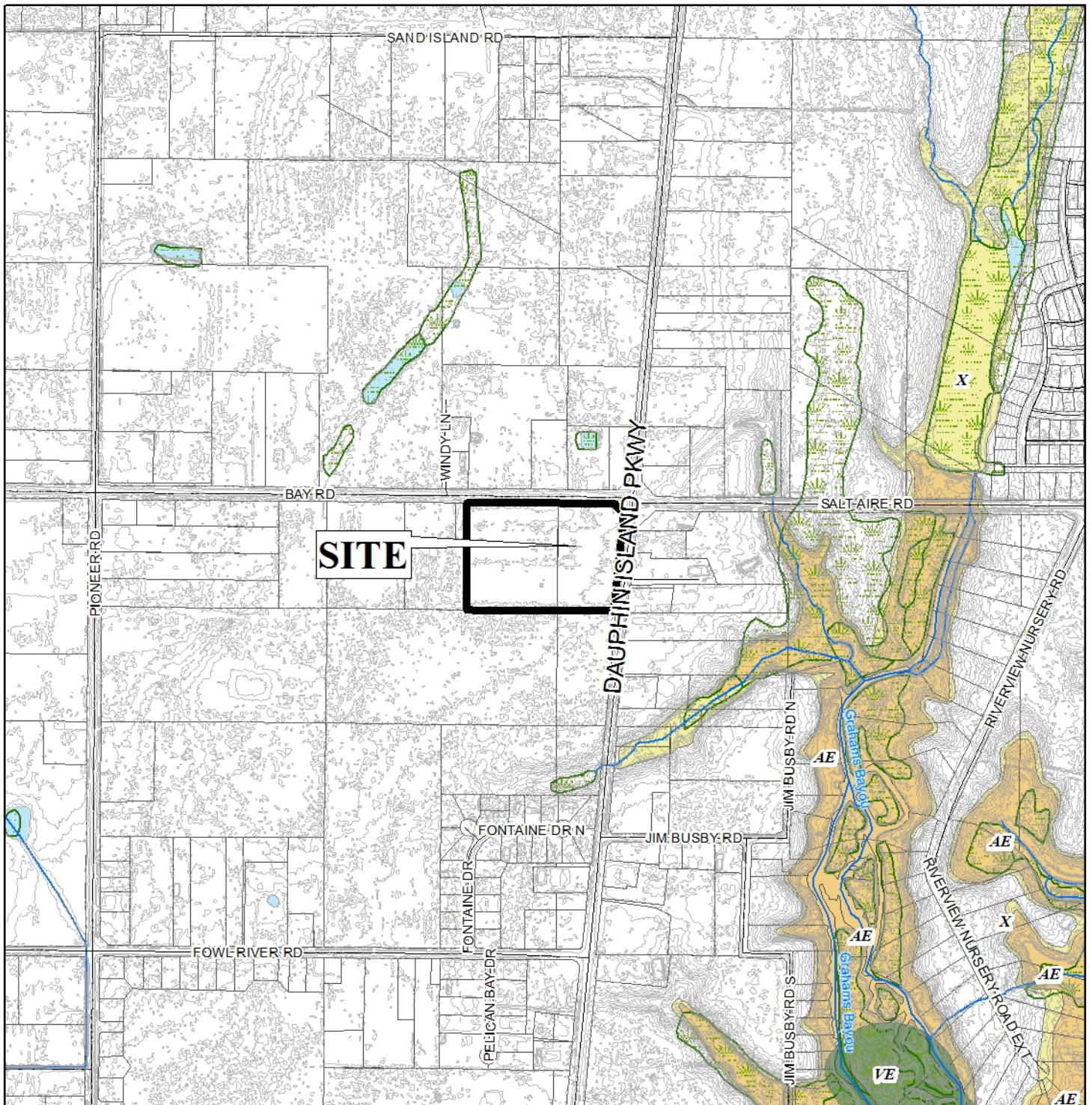
REQUEST Subdivision

Low Density Residential	Neighborhood Center - Traditional	Downtown Waterfront	Parks & Open Space
Mixed Density Residential	Neighborhood Center - Suburban	Light Industry	Water Dependent
Downtown	Traditional Corridor	Heavy Industry	
District Center	Mixed Commercial Corridor	Institutional	





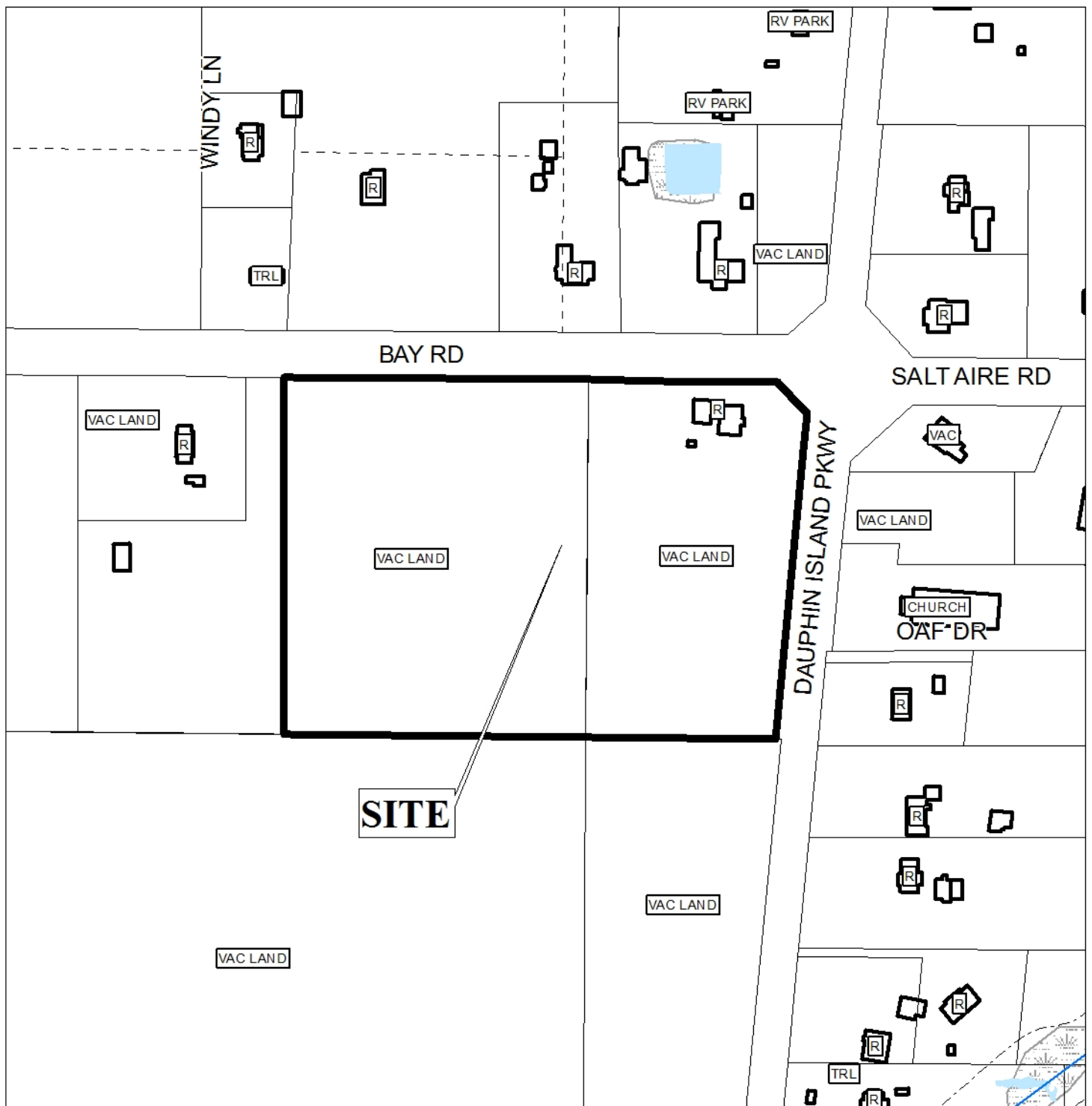
# ENVIRONMENTAL LOCATOR MAP



APPLICATION NUMBER 5 DATE December 7, 2017  
 APPLICANT Howard & Jean's Place Subdivision, Resubdivision of Lot 3  
 REQUEST Subdivision



# HOWARD AND JEAN'S PLACE SUBDIVISION, RESUBDIVISION OF LOT 3



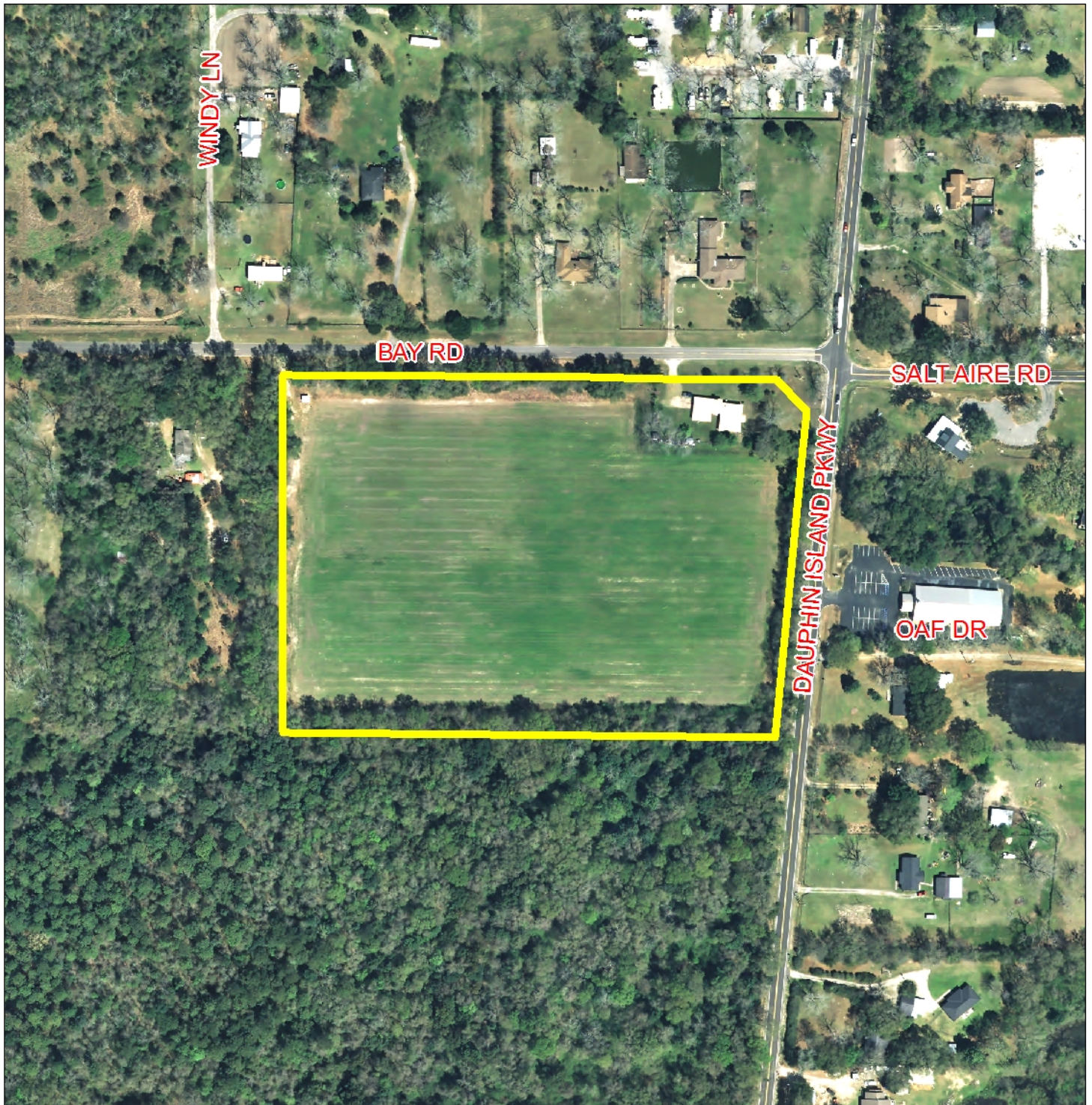
APPLICATION NUMBER 5 DATE December 7, 2017

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6





# HOWARD AND JEAN'S PLACE SUBDIVISION, RESUBDIVISION OF LOT 3



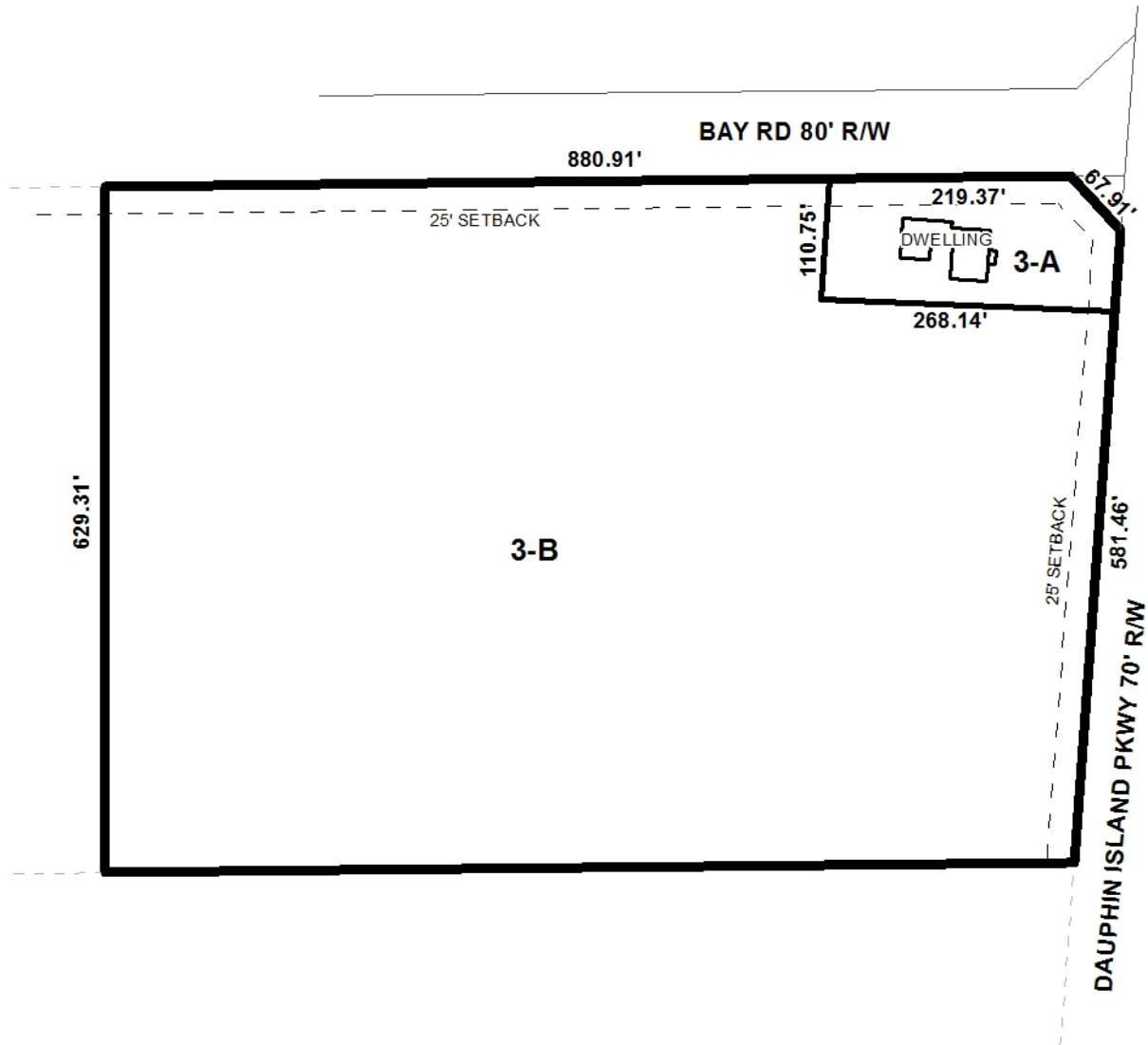
APPLICATION NUMBER 5 DATE December 7, 2017



NTS



# DETAIL SITE PLAN



APPLICATION NUMBER 5 DATE December 7, 2017  
 APPLICANT Howard & Jean's Place Subdivision, Resubdivision of Lot 3  
 REQUEST Subdivision



