

## **V P Subdivision**

Engineering Comments: The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Show the location, width, and purpose of existing and proposed easements.
- C. Label the bearings and distances as "RECORD" or "ACTUAL".
- D. Show and label all flood zones.
- E. Show and label the MFFE (Minimum Finished Floor Elevation) on each lot that contains an AE, V, or X (shaded) flood zone designation.
- F. Provide and label the monument set or found at each subdivision corner.
- G. Provide a legible legend.
- H. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer.
- I. Provide the Surveyor's Certificate and Signature.
- J. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- K. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- L. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- M. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved.
- N. Provide a copy of the FINAL PLAT to the Engineering Dept. for review prior to obtaining any signatures.
- O. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.

Traffic Engineering Comments: Site is limited to two curb cuts to South Conception Street, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).

Fire Department Comments: All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code).

MAWWS Comments: MAWSS has water and sewer services available, but a Capacity Assurance application for **additional** sewer service has not been applied for. MAWSS cannot guarantee **additional** sewer service until a Capacity application is approved by Volkert Engineering Inc.

The plat illustrates the proposed 1-lot, 3.3± acres subdivision, which is located on the East side of South Conception Street, 225'± South of North Carolina Street, in Council District 3. The applicant states the site is served by city water and sewer services.

The purpose of this application is to create one legal lot of record from one metes-and-bounds parcel.

The proposed lot has frontage along South Conception Street, a minor street with curb and gutter. A compliant 64' right-of-way is depicted and, as such, no dedication is required.

The site should be limited to its existing two curb cuts, with any changes in their sizes, designs, and locations to be approved by Traffic Engineering and conform to AASHTO standards.

The proposed lot meets the minimum size requirements of the Subdivision Regulations and is illustrated on the preliminary plat in square feet and acres; if approved, this information should be retained on the Final Plat, or a table should be furnished on the Final Plat providing the same information.

The 25' minimum building setback line is shown on the preliminary plat and should be retained on the Final Plat, if approved.

Any additional site improvements of the proposed lot are subject to the acquisition of the appropriate land disturbance and building permits, and should comply with all applicable codes and ordinances.

It should be noted that the existing site is developed with multiple buildings and has cross access with an adjacent parcel; as such, application for a Planned Unit Development and an additional lot should be approved by the Planning Commission.

Based on the preceding this application is recommended for Holdover to the February 18<sup>th</sup> meeting, with revisions or additional information to be submitted by January 19<sup>th</sup>:

- 1) revision of the Subdivision application to include the adjacent parcel to which the site has access; and
- 2) submission of a Planned Unit Development application to the Planning and Zoning Department to allow shared access between lots and to allow multiple buildings on a single building site.

***Revised for the February 18<sup>th</sup> meeting:***

*This application was heldover from the January 7<sup>th</sup> meeting to allow the applicant to:*

- 1) revise the subdivision application to include the adjacent parcel to which the site has access; and*
- 2) submit a Planned Unit Development application to the Planning and Zoning Department to allow shared access between lots and to allow multiple buildings on a single building site.*

*The revised plat illustrates the proposed 2-lot, 4.61± acres subdivision, which is located on the East side of South Conception Street, 225'± South of North Carolina Street, in Council District 3. The applicant states the site is served by city water and sewer services.*

*The purpose of this application is to create two legal lots of record from one metes-and-bounds parcel. The applicant is also requesting a waiver of the 25' minimum building setback requirement along the Main Line Street Bridge, stating that elevation of the roadway and existence of a railroad prohibits access to both Main Line Street and its adjacent Ezra Price Boulevard as justification for the request.*

*The proposed Lot 2 has frontage along South Conception Street, a minor street with curb and gutter. A compliant 64' right-of-way is depicted and, as such, no dedication is required. Right-of-way width varies along Main Line Street due to right-of-way acquisition to construct the aforementioned bridge; as such, additional dedication should not be required.*

*It should be noted that shared access between proposed Lots 1 and 2 is necessary as Lot 2 would otherwise not have access to a public street due to limited frontage. An application for a Planned Unit Development to allow shared access between lots and to allow multiple buildings on a single building site was received by Staff past the January 19<sup>th</sup> deadline. As such, the Planned Unit Development will be heard at the March 3<sup>rd</sup> meeting of the Planning Commission.*

*The proposed Lot 2 meets the minimum size requirements of the Subdivision Regulations and is illustrated on the preliminary plat in square feet and acres; if approved, this information should be retained on the Final Plat, or a table should be furnished on the Final Plat providing the same information.*

*The 25' minimum building setback line is shown for both lots along South Conception Street on the preliminary plat and should be retained on the Final Plat, if approved.*

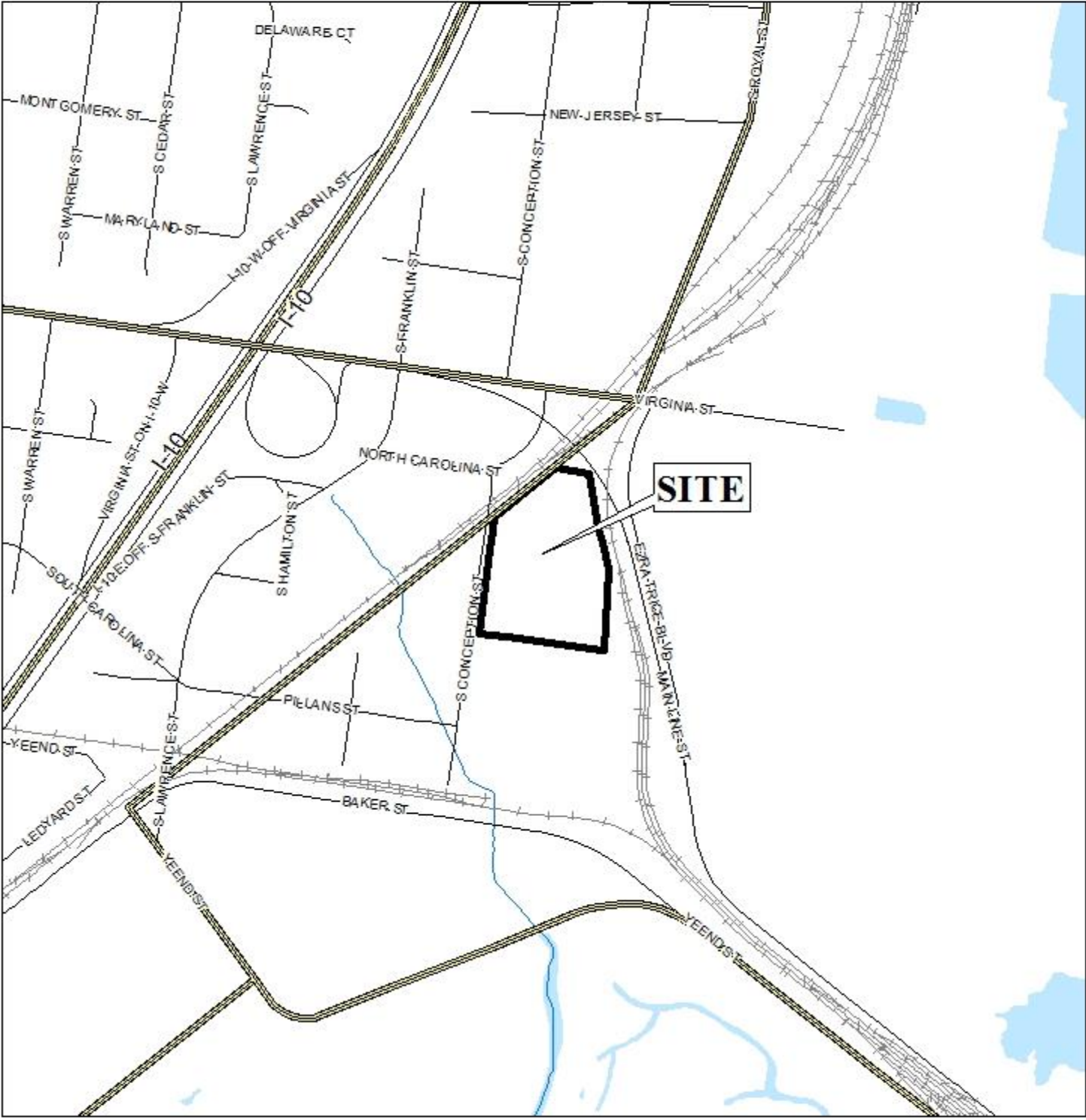
*It should be noted that Lot 2's frontage along the CSX Railroad mainline coincides with the proposed Royal Street South Major Street, which is proposed to have an 80 foot right-of-way. Considering no time frame for development of the major street is known, staff recommends no dedication of the right-of-way at this time; however, a 25' minimum building setback line is recommended.*

*Based on the preceding this application is recommended for Tentative Approval, subject to the following conditions:*

- 1) placement of a note on the Final Plat stating that Lots 1 and 2 are limited to two shared curb cuts to South Conception Street, and denied access to all other abutting rights-of-way;*
- 2) shared access and cross access between lots are subject to an approved Planned Unit Development;*
- 3) compliance with Engineering comments: (The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer: A) Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. B) Show the location, width, and purpose of existing and proposed easements. C) Label the bearings and distances as "RECORD" or "ACTUAL". D) Show and label all flood zones. E) Show and label the MFFE (Minimum Finished Floor Elevation) on each lot that contains an AE, V, or X (shaded) flood zone designation. F) Provide and label the monument set or found at each subdivision corner. G) Provide a legible legend. H) Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer. I) Provide the Surveyor's Certificate and Signature. J) Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. K) Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. L) Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. M) Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved. N) Provide a copy of the FINAL PLAT to the Engineering Dept. for review prior to obtaining any signatures. O) Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.);*
- 4) compliance with Traffic Engineering comments: (Site is limited to two curb cuts to South Conception Street, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
- 5) compliance with Urban Forestry comments: (Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).);*
- 6) compliance with Fire Department comments: (All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code).);*

- 7) *provision of a revised PUD site plan, if necessary, prior to the signing of the Final Plat;  
and*
- 8) *depiction of a 25 foot minimum building setback line along the CSX Railroad mainline  
right-of-way, where Lot 2 abuts the railroad, to accommodate a proposed major street.*

## LOCATOR MAP



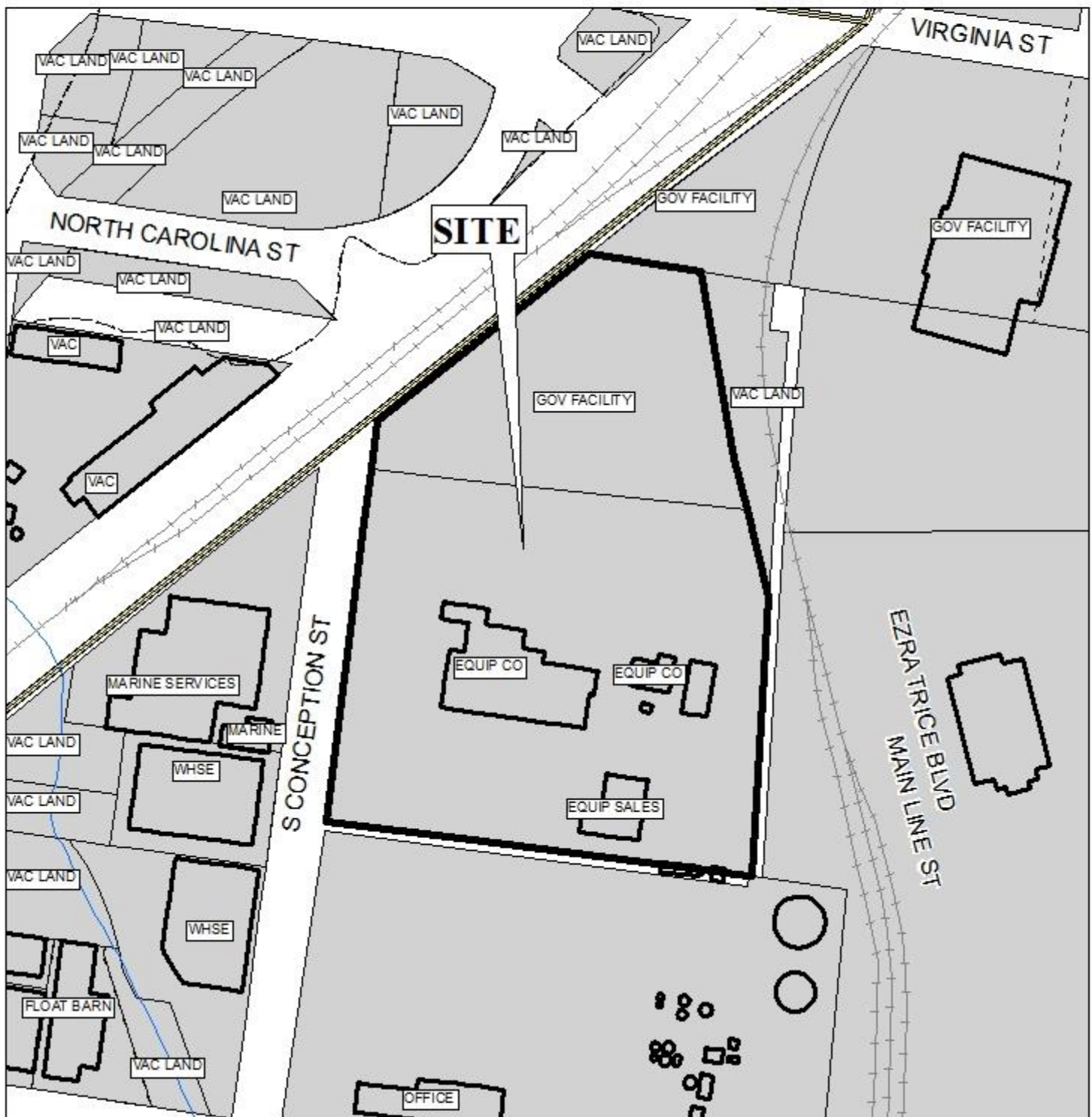
APPLICATION NUMBER 5 DATE February 18, 2016

APPLICANT \_\_\_\_\_ V P Subdivision

REQUEST \_\_\_\_\_ Subdivision \_\_\_\_\_



# V P SUBDIVISION



APPLICATION NUMBER 5 DATE February 18, 2016

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6





# V P SUBDIVISION

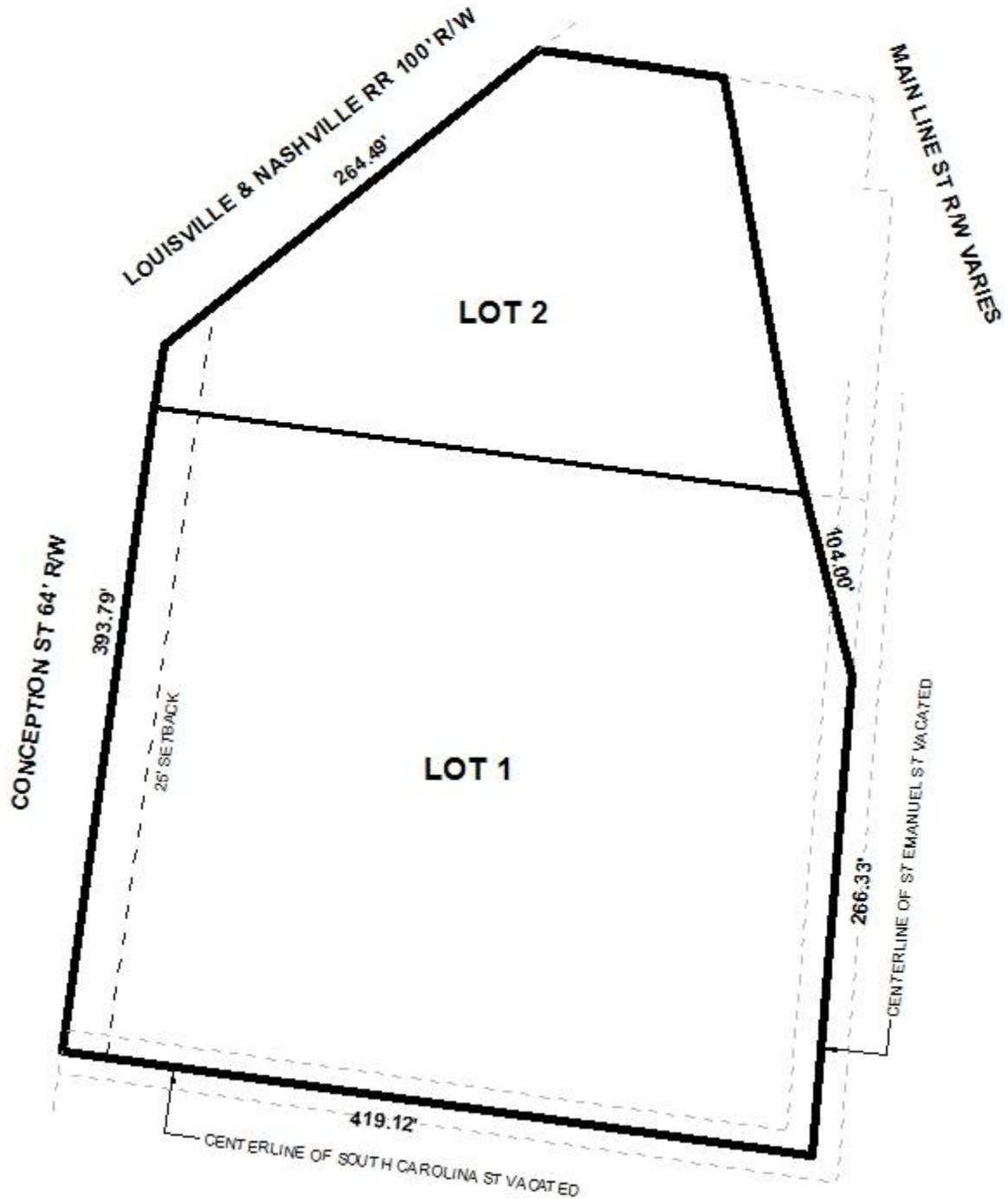


APPLICATION NUMBER 5 DATE February 18, 2016





# DETAIL SITE PLAN



APPLICATION NUMBER 5 DATE February 18, 2016  
APPLICANT V P Subdivision  
REQUEST Subdivision

