

VENETIA STATION SUBDIVISION

Engineering Comments: The following comments should be addressed prior to acceptance and signature by the City Engineer: a. Provide all of the required information on the Plat (i.e. signature blocks, signatures, certification statements, required notes, legend). b. Add a note to the Plat stating that a Land Disturbance Permit will be required for any site improvements on the property. These improvements may require storm water detention. The Permit submittal shall be in accordance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045). c. Add a signature block and signature for the Owner (notarized), Planning Commission, and Traffic Engineer. d. Provide and label the monument set or found at each subdivision corner. e. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all stormwater runoff, wetland and floodplain requirements) would be required prior to the issuance of a permit for any land disturbance activity. f. Add a note to the Plat that any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). g. Show the Minimum Finished Floor Elevation (MFFE) for Lot 1 and Lot 2. h. Show and label POC for the legal description. i. Show and label witness monument(s) along Dog River. j. Provide a signature block for the City Engineer and County Engineer.

Revised for the November 7th meeting: *“The following comments should be addressed prior to acceptance and signature by the City Engineer: a. Provide all of the required information on the Plat (i.e. signature blocks, signatures, certification statements, required notes, legend). b. Add a note to the Plat stating that a Land Disturbance Permit will be required for any site improvements on the property. These improvements may require storm water detention. The Permit submittal shall be in accordance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045). c. Add a signature block and signature for the Owner (notarized), Planning Commission, and Traffic Engineer. d. Provide and label the monument set or found at each subdivision corner. e. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all stormwater runoff, wetland and floodplain requirements) would be required prior to the issuance of a permit for any land disturbance activity. f. Add a note to the Plat that any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). g. Show the Minimum Finished Floor Elevation (MFFE) for Lot 1 and Lot 2. h. Show and label POC for the legal description. i. Show and label witness monument(s) along Dog River. j. Provide a signature block for the City Engineer and County Engineer.”*

Traffic Engineering Comments: Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWSS Comments: MAWSS has water and sewer services available, but a Capacity Assurance application for additional sewer service has not been applied for. MAWSS cannot guarantee additional sewer service until the Capacity application is approved by Volkert Engineering Inc.

The plat illustrates the proposed 2-lot, 4.6 ± acre subdivision which is located on the South side of Venetia Road, 358.2' ± East of Venice Court, and is in Council District 4. The applicant states that the subdivision is served by both public water and sanitary sewer.

The purpose of this application is to create two legal lots of record from one metes and bounds parcel. The proposed lots exceed the minimum size requirements of Section V.D.2. of the Subdivision Regulations. They do not however meet the width to depth ratio; thus, a waiver for Section V.D.3 of the Subdivision Regulations will be required. The plat currently depicts the lots in square feet and acres and should be retained on the Final Plat, as on the preliminary plat, if approved.

While this is a subdivision application there are Zoning Ordinance related issues that should be addressed. The plat displays property lines going through existing structures on the each site. It appears the existing carport on Lot 2 is encroaching onto Lot 1. The plat also depicts an existing garage located on Lot 1 encroaching onto the adjacent property. The proposed Lot 2 illustrates two dwelling units on a single building site which is not permitted in a Single Family Residential District. Furthermore, there is no nonconforming documentation on file regarding the existing multiple dwelling units. A rezoning application will be required for R-2 zoning or a variance to the Board of Zoning Adjustment. The plat also illustrates one driveway that appears to provide access to the three existing dwelling units located on the site. Because the site is located within the city, the Zoning Ordinance requires structures to be a minimum of 8' from the property line and a Planned Unit Development (PUD) is required to allow multiple structures on a single site, and to allow shared access. If approved, it should be noted the site would create several zoning violations.

The site plan also depicts a single family dwelling unit adjacent to the proposed Lot 1; however, it should be noted there is no longer a structure on the adjacent property. The property adjacent to Lot 1 should be included in the subdivision since shared access currently exists, and the encroachment of the garage onto the adjacent property. Revisions to the site plan to reflect all current structures shall be required.

The 25-foot minimum building setback line, required in Section V.D.9., is noted on the plat but not illustrated. Revisions should be made to depict the 25' minimum building setback line on the preliminary plat, and should be retained on the Final Plat, if approved.

The site fronts Veneita Road, a minor street with curb and gutter, thus requiring a 50' right-of-way. The plat depicts a 50' right-of-way and should be retained on the Final Plat, if approved.

It should be noted that a large portion of the site is located within the AE and X-shaded flood zone for Dog River. The potential presence of floodplains indicate that the area may be environmentally sensitive; therefore, the approval of all applicable federal, state and local agencies would be required prior to the issuance of any permits or land disturbance activities.

The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Based upon the preceding, the application is recommended for Holdover until the November 7, 2013 meeting, with revisions due by October 14, 2013 to address the following:

- 1) revise site plan to depict property lines without going through structures;
- 2) revise site plan to depict 25' minimum building setback line;
- 3) provide nonconforming documentation to show multiple single family dwelling units existed prior to 1967 or submit a application to rezone property to R-2;
- 4) submit application for PUD;
- 5) include adjacent property to East in the PUD and Subdivision applications due to building encroachment across property lines and shared access;
- 6) submission of additional labels and fees due to expanded sub site; and
- 7) revisions to the site plan to reflect all current and existing structures;

Revised for the November 7th meeting:

This application was heldover from the October 3rd meeting to allow the applicant to submit a revised plat. The revised plat illustrates all current and existing structures with notations to indicate what structures will be removed. The existing dwelling unit on the proposed Lot 1 is shown to be removed. The existing carport located on the proposed Lot 2 as well as the existing garage on the proposed Lot 1 are shown to be removed, which addresses the concern of property lines bisecting or going through structures. Due to the note on the plat stating the drive and access easement will only be used for the proposed Lot 2, and the removal of both the existing garage and dwelling unit so that the structures will no longer encroach onto the adjacent property to the East, all applications for a PUD is no longer required.

The applicant has provided a written letter stating that the parcel was originally purchased in 1932 by the family proposing to create the two lot subdivision. The applicant is requesting to keep both the existing dwelling units on the proposed Lot 2 with one structure to remain a single

family dwelling unit and the other to be occupied as a guesthouse, not to be utilized as rental property. Nonconforming documentation was requested in the previous report however sufficient documentation has not been provided. The applicant must submit a rezoning application or apply for a variance if documentation can not be provided to show continuous use as a guesthouse. If the applicant does not desire to seek a variance if the subdivision application is approved, the signing of the Final Plat will be contingent on the existing cooking facilities being removed from the guesthouse.

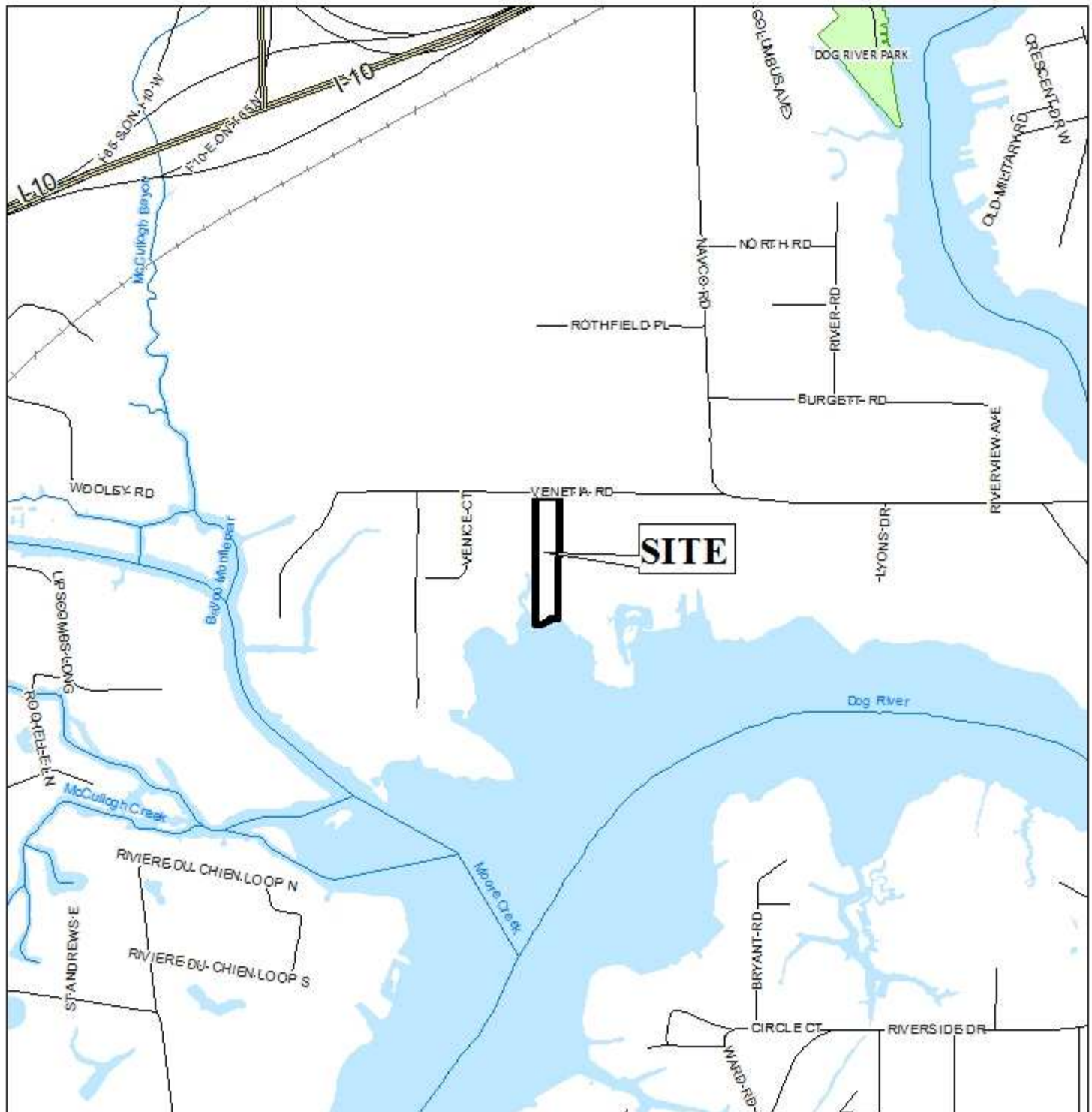
Furthermore, it should be noted the 25' minimum building setback line is not illustrated on the plat.

RECOMMENDATION *Based on the preceding the application is recommended for Tentative Approval, subject to the following conditions:*

- 1) revise site plan to depict 25' minimum building setback line;*
- 2) provide nonconforming documentation to show that the multiple single family dwelling units existed prior to 1967, and that the guesthouse has been in continuous use or submit for a rezoning application or use variance application; or removal of the cooking facilities from the guesthouse prior to the signing of the Final Plat;*
- 3) subject to Engineering comments: "The following comments should be addressed prior to acceptance and signature by the City Engineer: a. Provide all of the required information on the Plat (i.e. signature blocks, signatures, certification statements, required notes, legend). b. Add a note to the Plat stating that a Land Disturbance Permit will be required for any site improvements on the property. These improvements may require storm water detention. The Permit submittal shall be in accordance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045). c. Add a signature block and signature for the Owner (notarized), Planning Commission, and Traffic Engineer. d. Provide and label the monument set or found at each subdivision corner. e. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all stormwater runoff, wetland and floodplain requirements) would be required prior to the issuance of a permit for any land disturbance activity. f. Add a note to the Plat that any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). g. Show the Minimum Finished Floor Elevation (MFFE) for Lot 1 and Lot 2. h. Show and label POC for the legal description. i. Show and label witness monument(s) along Dog River. j. Provide a signature block for the City Engineer and County Engineer."*
- 4) subject to Fire comments: "All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.";*
- 5) subject to Traffic Engineering comments: "Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards"; and*

- 6) *subject to Urban Forestry Comments: “Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).”;*

LOCATOR MAP



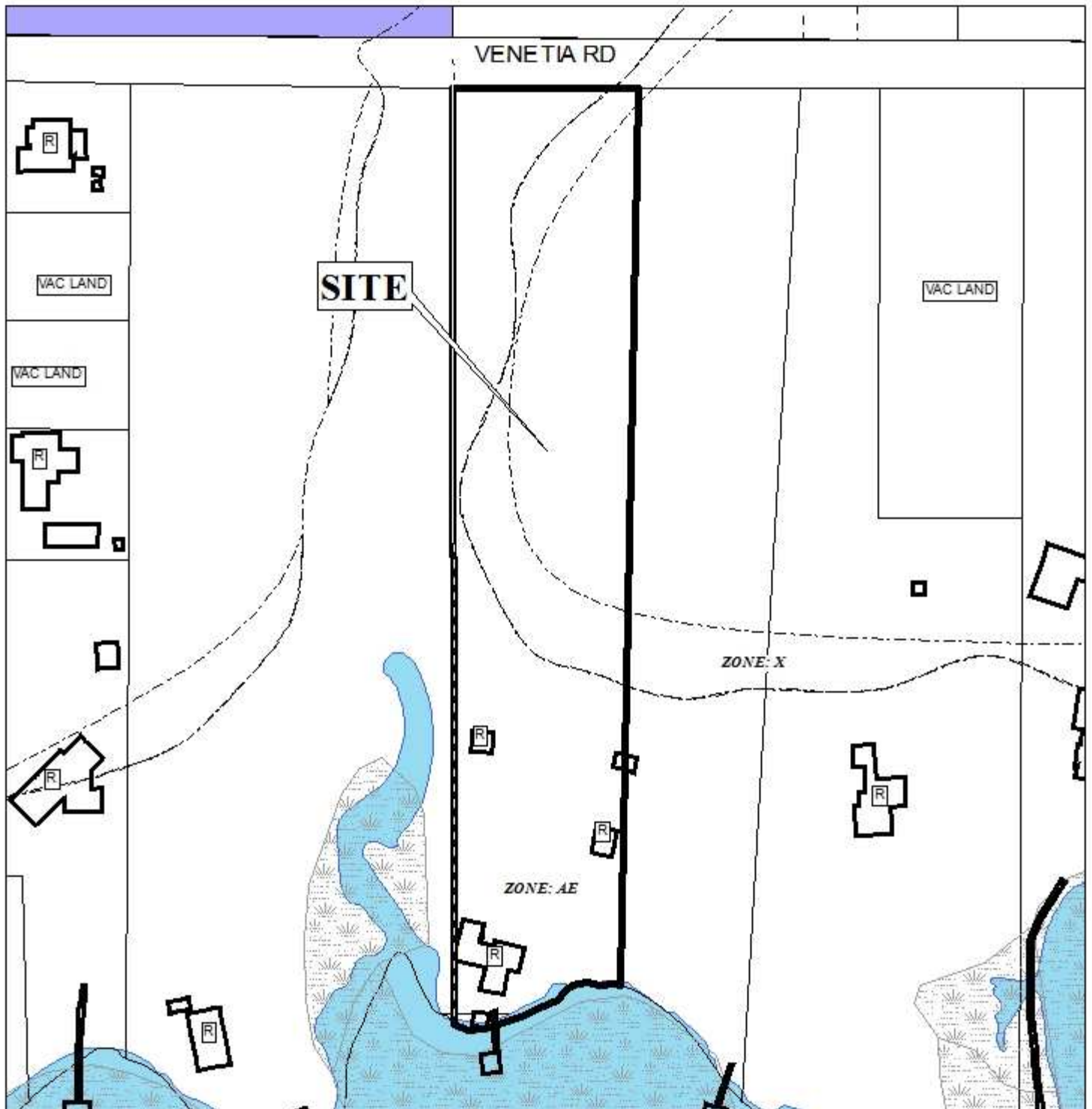
APPLICATION NUMBER 5 DATE November 7, 2013

APPLICANT Venetia Station Subdivision

REQUEST Subdivision



VENETIA STATION SUBDIVISION



APPLICATION NUMBER 5 DATE November 7, 2013

LEGEND															
	R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2



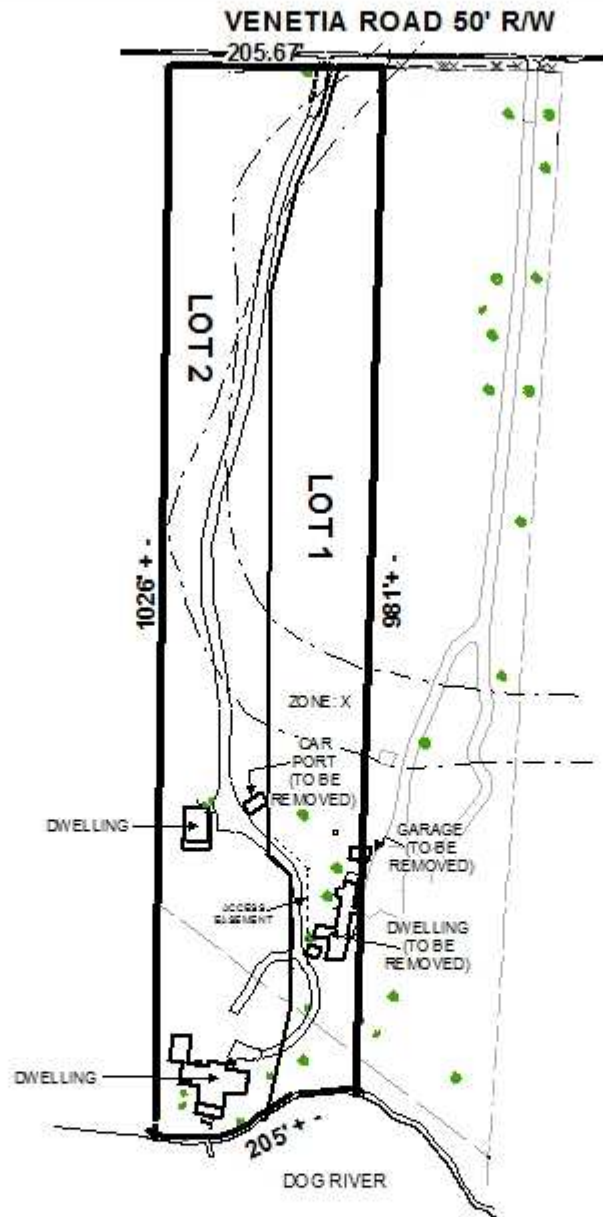
VENETIA STATION SUBDIVISION



APPLICATION NUMBER 5 DATE November 7, 2013



SITE PLAN



The site plan illustrates the existing dwellings, drive, flood zone, and proposed lots.

APPLICATION NUMBER 5 DATE November 7, 2013

APPLICANT Venetia Station Subdivision

REQUEST Subdivision

