

**PLANNED UNIT DEVELOPMENT
STAFF REPORT****Date: November 7, 2013****DEVELOPMENT NAME** Dolphin Storage, LLC**LOCATION** 2715 Dauphin Street
(South side of Dauphin Street, 67'± East of Dauphinwood Drive)**CITY COUNCIL
DISTRICT** District 1**PRESENT ZONING** B-3, Community Business District**AREA OF PROPERTY** 6.7± acres**CONTEMPLATED USE** Planned Unit Development Approval to amend a previously approved Planned Unit Development Approval to allow multiple buildings on a single building site.**TIME SCHEDULE
FOR DEVELOPMENT** Immediately**ENGINEERING
COMMENTS**

1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).
2. A complete set of construction plans for any proposed site work – including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.
3. Any and all proposed development will need to be in conformance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
4. The proposed storage yard will need to be surfaced as required by Mobile City Code, Chapter 64, Section 64-4. Any request for an Alternative Parking Surface shall be approved by the City Engineer and the Director - Urban Development Dept.
5. Add a note to the Plat stating that the proposed development must comply with all Engineering Department Policy Letters:

- i. 5-13-2009 Policy Letter(Car wash drains and dumpster pads to drain to Sanitary Sewer System)
- ii. 8-4-2004 Policy Letter (Video inspection of new Storm Sewer System Piping)
- iii. 3-18-2004 Policy Letter (Additional subdivision street requirements)

TRAFFIC ENGINEERING

COMMENTS

The access to Dauphin Street, existing and as illustrated in the plan, is considered two curb-cuts. Access to Dauphin Street should be limited to one curb cut, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Revised Traffic Engineering Comments were also submitted: Specific design of driveway curb-cut revisions to be approved by Traffic Engineering and Engineering during permitting process.

URBAN FORESTRY

COMMENTS

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Preservation status is to be given to the two 50" Live Oak Trees located on the South East side of Lot 1 along the Illinois Central Gulf Railroad easement. Any work on or under these trees is to be permitted and coordinated with Urban Forestry; removal to be permitted only in the case of disease or impending danger.

FIRE DEPARTMENT

COMMENTS

All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

REMARKS

The applicant is requesting Planned Unit Development Approval to amend a previously approved Planned Unit Development Approval to allow multiple buildings on a single building site.

The purpose of this application is to modify an existing site to allow for it to be used for RV and boat storage, as well as to provide individual storage units.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus if any new construction is anticipated that will

change an approved site plan, an application to amend an existing, approved PUD must be made prior to any construction activities.

The previous PUD approval for a similar use of the site was granted by the Planning Commission at its April 19, 2012 meeting. According to the previous staff report:

The site plan illustrates four (4) existing buildings, four (4) proposed buildings and fifty-two (52) parking spaces for recreational vehicles/boats varying from 25-feet to 50-feet in depth. The applicant ultimately proposes approximately 500 storage units within the eight (8) existing and proposed buildings. The applicant also states that that a small office would be located within the front existing building to provide customer service during business hours (8:00 AM – 5:00 PM, Monday – Saturday); however, access to the storage area would be controlled by a gated entrance and would typically be available seven (7) days a week from 6:00 AM to 9:00 PM. Also illustrated on the site plan is approximately 120-feet of vehicle queuing, allowing several vehicles to be stacked awaiting the opening to the gated site.

While the current request is similar to the approved 2012 PUD, it appears that the number of proposed buildings and layout of the proposed site is different. The current site plan illustrates:

- 1) 3 existing buildings totaling 40,000± sf;
- 2) 26,220± sf of new additions which include 9 proposed buildings and 1 canopy; and
- 3) 51 parking spaces for RVs and boats ranging from a depth of 25 to 50’.

The current site plan does not indicate:

- 1) The number of storage units;
- 2) Buffering and landscaping requirements;
- 3) The location of the office and required parking spaces; and
- 4) A dumpster, if provided.

Furthermore, the site plan indicates gravel parking for the proposed RV/ boat storage area. It is important to note that a gravel parking surface is not allowed in a B-3, Community Business District, thus if the applicant desires to use gravel as a parking surface, a Variance Application submitted to the Board of Zoning Adjustments will be required. Otherwise, a revised PUD site plan should be submitted to illustrate a paved parking surface throughout the entire site.

It should be noted that the site abuts a multi-family residential development, so lighting control, hours of operation, and appropriate buffering are issues of concern. As the PUD is proposed now, the applicant states:

(The) office (would be) in the front of the first existing building upon entering the site... (and) anticipated hours of operation for the office would be typical business hours, Monday through Saturday from 8 AM until 5 PM. Access to the storage unit would be controlled by entrance through the gate and would typically be 7 days a week, 6 AM to 9 PM.

Lighting on the site will have to comply with the requirements of Sections 64-4.A.2. and 64-6.A.3.c. of the Zoning Ordinance. A note reflecting this requirement should appear on the site plan, if approved.

The site fronts Dauphin Street, a proposed major street with a 100' right-of-way, according to the Major Street Plan component of the Comprehensive Plan. The applicant has already provided dedication to provide 50' as measured from the centerline of Dauphin Street, as a condition of the 2012 approval, and therefore, no additional dedication will be required at this time. As in the 2012 request, as a means of access management, a note should again be required on the site plan stating that the site is denied access to Dauphinwood Drive and is to be limited to one curb cut to Dauphin Street with the size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

It should be pointed out that the site plan illustrates two curb-cuts to Dauphin Street; therefore, the revised site plan should only depict one curb-cut.

Through the use of historical aerial imagery, it appears that a 1400± sf building and two 350' ± structures were removed within the past 3 years. It should be pointed out that demolition permit was not obtained and therefore, an after the fact demolition permit should be required.

The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

RECOMMENDATION **Planned Unit Development:** The application is recommended for Holdover to the December 5, 2013 meeting with revisions due by November 15, 2013 to address the following:

- 1) Obtainment of an after the fact demolition permit;
- 2) Revision of the site plan to depict the number of storage units;
- 3) Revision of the site plan to show the location of the office and all required parking spaces to ensure circulation is adequate;
- 4) Revision of the site plan to illustrate the location of a dumpster in compliance with Section 64-4.D.9. of the Zoning Ordinance;
- 5) Revision of the site plan to illustrate only one curb-cut to Dauphin Street;
- 6) Revision of the site plan to illustrate a paved parking surface throughout the entire site or the submission of a variance application for a gravel parking surface in a B-3, Community Business District. *(Please note that if the applicant desires gravel parking, the approval of the revised site plan which depicts a gravel parking surface for the RV/boat area is contingent to the approval of the Variance Application.);*
- 7) Revision of the site plan to comply with buffering and landscaping requirements to include the illustration of a 10-foot buffer along the adjacent residentially zoned property, in conjunction with the 3-foot solid hedgerow along the 25-foot minimum building setback line of Dauphin Street;

- 8) Placement of a note on the site plan stating that lighting on the site must comply with the requirements of Sections 64-4.A.2. and 64-6.A.3.c. of the Zoning Ordinance; and
- 9) Placement of a note on the site plan stating that the site is denied access to Dauphinwood Drive and is to be limited to one curb cut to Dauphin Street with the size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Revised for the December 5, 2013 meeting:

The application was heldover at the November 7, 2013 meeting to allow the applicant time to submit revised information to staff for review.

The applicant submitted a revised site plan depicting the required revisions; however, the vehicle maneuverability area is still inadequate, despite a slight expansion. The site plan should be revised to illustrate a compliant 24' travel aisle from the driveway and across the northern portion of the proposed parking area near the office.

Also, the revised site plan does not indicate the required compliance information. The site plan should be revise to depict text or a table describing in detail the necessary landscaping area for the site.

*Finally, the applicant states that a permit was obtained when the 1,400 sf building was demolished in 2012. A copy of a building permit was supplied and staff validates that a permit was issued; however, it is important to note that the permit which was issued **is not** a demolition permit and only addresses replacing the roof and/or walls if they were unable to repair.*

RECOMMENDATION ***Planned Unit Development:*** *The application is recommended for Holdover to the January 2, 2014 meeting with revisions due by December 16, 2013 to address the following:*

- 1) Revision of the site plan to depict a compliant 24' travel isle from the driveway and across the northern portion of the proposed parking area; and*
- 2) Revision of the site plan to depict and quantify the necessary landscaping area for the site.*

LOCATOR MAP



APPLICATION NUMBER 5 DATE December 5, 2013

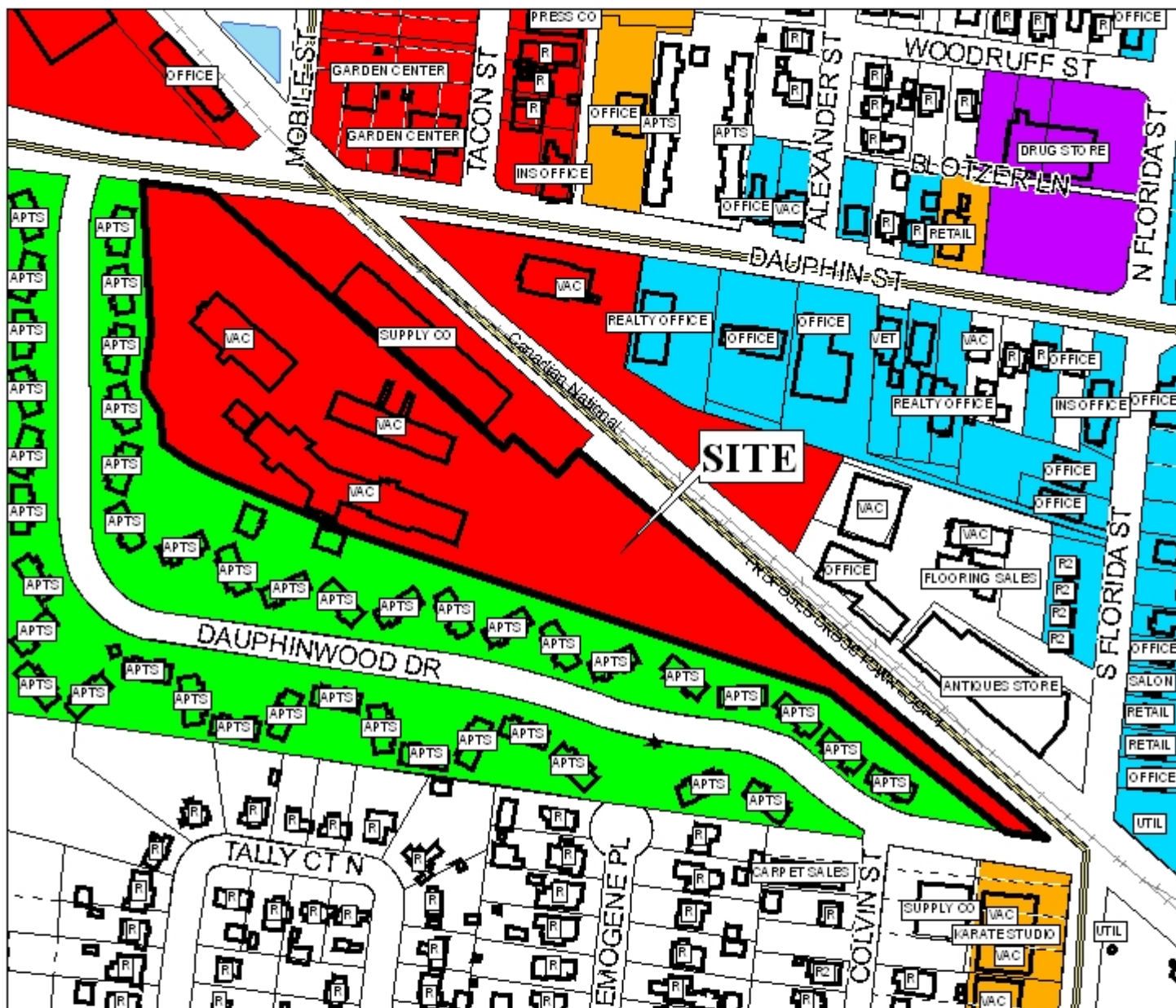
APPLICANT Dolphin Storage, LLC

REQUEST Planned Unit Development



NTS

PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



Businesses are located to the north of the site.
Apartments are located to the south of the site.

APPLICATION NUMBER 5 DATE December 5, 2013

APPLICANT Dolphin Storage, LLC

REQUEST Planned Unit Development

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



Businesses are located to the north of the site.
Apartments are located to the south of the site.

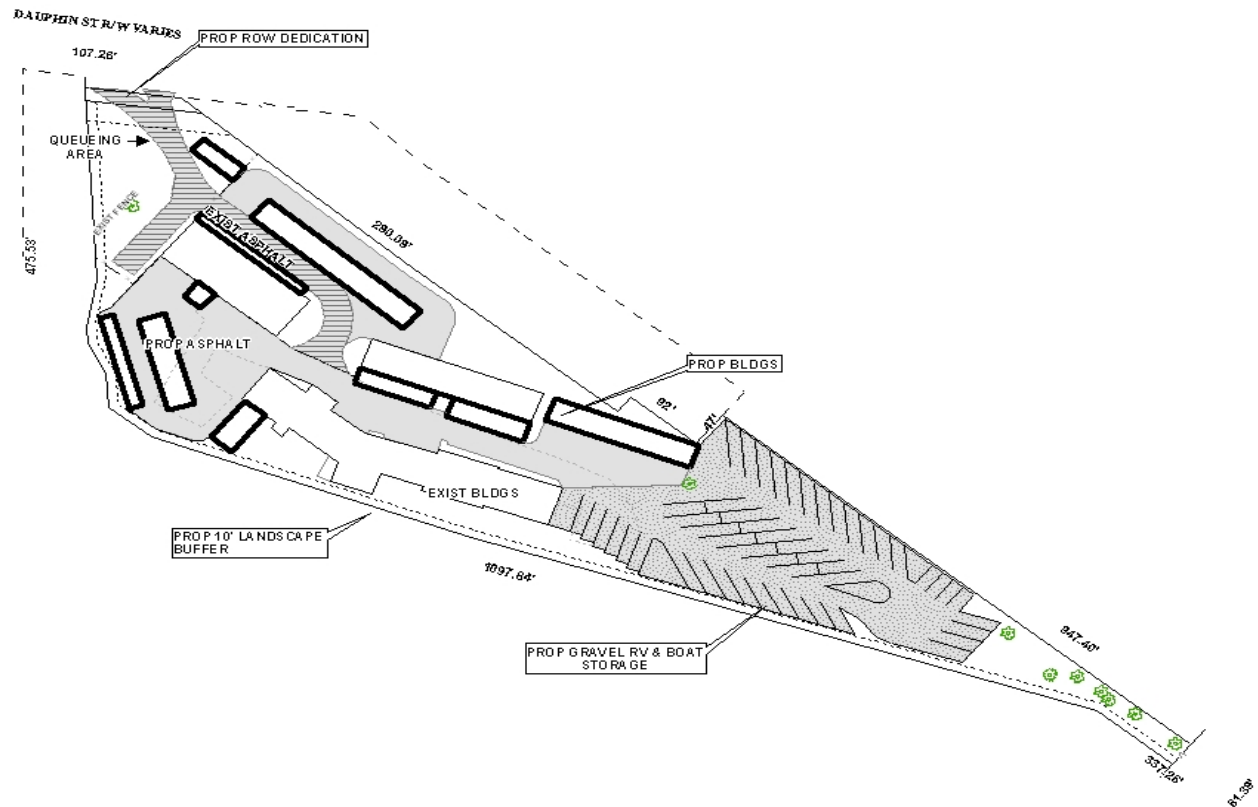
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SITE PLAN



The site plan illustrates the existing structures, proposed structures, and proposed RV and boat storage area.

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NTS