

D'IBERVILLE ESTATES SUBDIVISION,
RESUBDIVISION OF LOTS 22 & 23

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire-Rescue Department Comments: Subdivision layout and design must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile. Commercial buildings and sites within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

MAWWS Comments: No comments.

The plat illustrates the proposed 2 lot, 1.0± acre subdivision which is located at 2508 D'Iberville Drive North (Southwest corner of D'Iberville Drive North and Cottage Hill Road). The applicant states that the subdivision is served by public water and sanitary sewer.

The purpose of this application is to reconfigure two existing legal lots of record.

The proposed lots meet the minimum size requirements as regulated by Section V.D.2 of the Subdivision Regulations. The proposed lot size is not indicated on the plat and should be provided, in square feet, on the final plat, if approved.

The 25-foot minimum building line is depicted, and should be retained on the final plat, if approved.

Both lots also have adequate frontage on a public right-of-way. The site fronts Cottage Hill Road to the North and D'Iberville Drive North to the East. Cottage Hill Road is a major street as shown on the Major Street Plan Component on the Comprehensive Plan. The Plan requires a right-of-way of 100 feet for Cottage Hill Road in this area. Existing right-of-way of 90 feet from the centerline of Cottage Hill Road is depicted on the plat, which is more than adequate. D'Iberville Drive North is a minor street, provided with curb and gutter, and is depicted with an adequate right-of-way of 50 feet. As both roadways have sufficient right-of-way, no further dedication should be required.

Currently, the site has no curb cuts, as revealed by aerial photographs. The proposed Lot B has frontage onto both Cottage Hill Road and D'Iberville Drive North. As Cottage Hill Road is a major street, access management is a concern. As the lots are being reoriented so that both lots will have frontage onto Cottage Hill Road, and given the recent large-scale commercial developments in the immediate area (Wal-Mart Supercenter), it is possible that the intended use of the property is for commercial developments. As D'Iberville Drive North is developed

residentially, it is undesirable to have commercial traffic using D'Iberville Drive as an ingress/egress point. It is equally undesirable to have two commercial curb cuts and a residential collector street accessing Cottage Hill Road so closely together. Traffic counts for 2007 showed a daily average of over 18,000 vehicles on Cottage Hill Road between Schillinger Road and Leroy Stevens Road. As such, if the proposed Lots A and B are both developed commercially, they should share a single curb cut to Cottage Hill Road and the proposed Lot B should be denied access to D'Iberville Drive North, with the size, design, and location of all curb cuts to be approved by Mobile County Engineering.

While the site is in Mobile County, it will have to comply with the City of Mobile storm water and flood control ordinances. A note should be placed on the final plat, if approved, stating that the development will be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. Certification is to be submitted to the Planning Section of Urban Development and County Engineering.

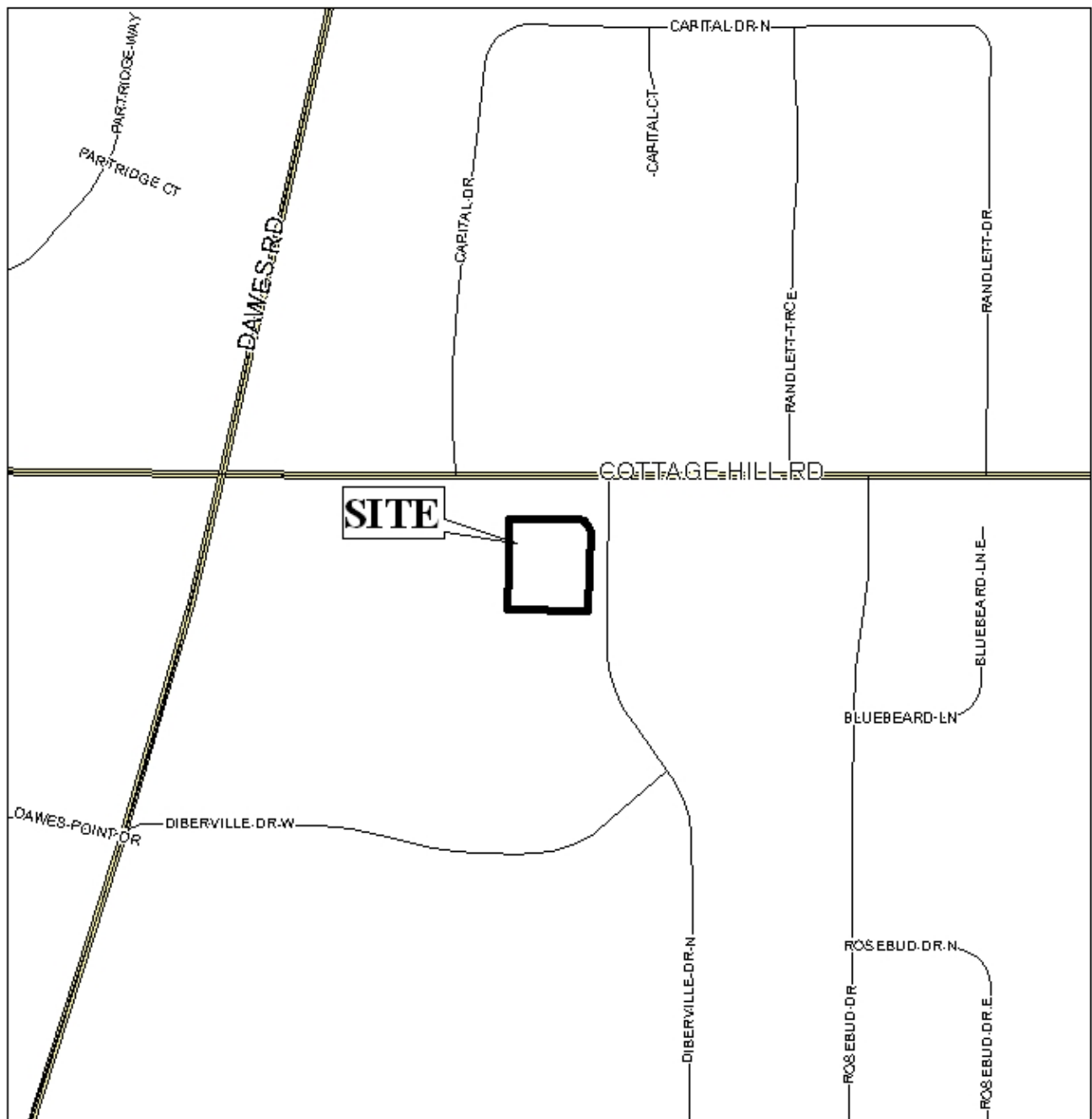
The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

This site is located in the County, thus any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8 of the Subdivision Regulations.

Based on the preceding, this application is recommended for tentative approval subject to the following conditions:

- 1) Provision of labeling of the lot size, in square feet, on the final plat, or provision of a table on the final plat with the same information;
- 2) Retention of the 25-foot wherever the site fronts a public street;
- 3) Placement of a note on the final plat limiting Lots A and B to a single curb cut to Cottage Hill Road and denying Lot B access to D'Iberville Drive North, with the size, design, and location of all curb cuts to be approved by Mobile County Engineering;
- 4) Placement of a note on the final plat stating that the development will be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. Certification is to be submitted to the Planning Section of Urban Development and County Engineering;
- 5) Placement of a note on the final plat stating that development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species;
- 6) Placement of a note on the final plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8 of the Subdivision Regulations.

LOCATOR MAP



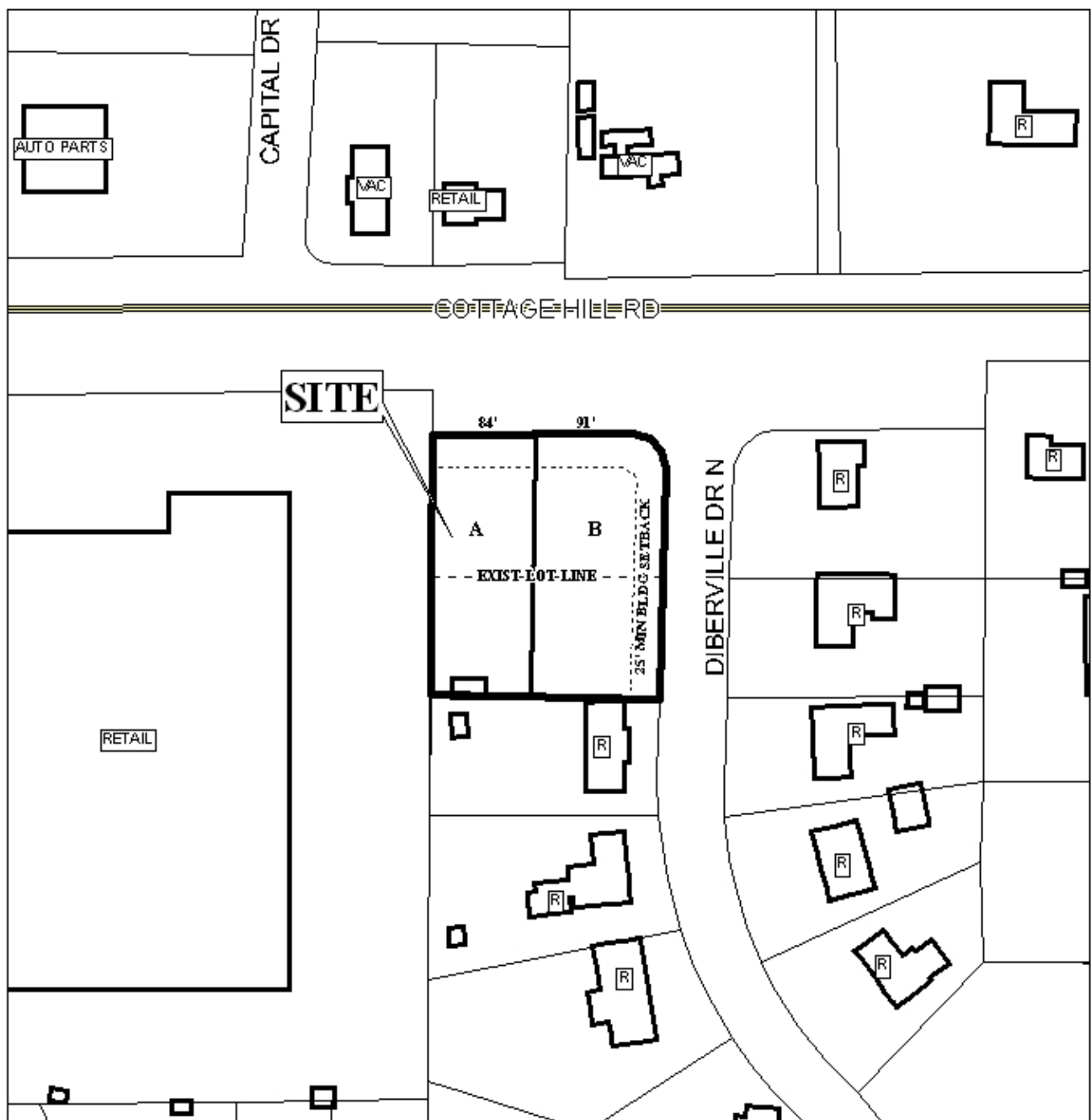
APPLICATION NUMBER 5 DATE August 6, 2009

APPLICANT D'Iberville Estates Subdivision, Resubdivision of Lots 22 & 23

REQUEST Subdivision



D'IBERVILLE ESTATES SUBDIVISION, RESUBDIVISION OF LOTS 22 & 23



APPLICATION NUMBER 5 DATE August 6, 2009

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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