

DIAMOND PLACE ESTATES SUBDIVISION

Engineering Comments: The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:

A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.

B. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.

C. Clarify the status of the vacated easement (Note #17) and correct the label and note.

D. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.

E. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved.

F. Provide a copy of the FINAL PLAT to the Engineering Dept. for FINAL PLAT review prior to obtaining any signatures.

G. After FINAL PLAT review by the Engineering Dept. provide a copy of the Final Plat along with the original and any review copies when submitting for City Engineer signature.

Traffic Engineering Comments: Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).

Fire Department Comments: All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code. (2012 IFC).

The plat illustrates the proposed 0.84 acre \pm , 2 lot subdivision which is located at the Northeast corner of Wilkinson Way and Jordan Lane, and is in Council District 5. The applicant states that the subdivision is served by both public water and sanitary sewer.

The purpose of this application is to create 2 legal lots of record from three existing legal lots of record.

This site was approved by the Planning Commission at its April 4, 2013 meeting as a 3 lot subdivision. The Final Plat was signed and recorded (MB129/P94); however staff never received the required 7 copies. It should be noted, 7 copies of the previously approved Final Plat, Resubdivision Lot 19, First Unit of New Country Club Estates must be submitted prior to the signing of the Final Plat of the proposed Diamond Place Estates Subdivision, if approved.

According to the recently adopted Map for Mobile Plan, the site is located within a Suburban Neighborhood Area. The intent of this Development Area includes:

- Emphasize connectivity to surrounding neighborhoods and close services and retail;
- Accommodation of pedestrian and bicycle traffic in addition to automobiles; and
- Appropriate scaled infill development to complement existing character of neighborhoods.

It should be noted that the Map for Mobile Plan is meant to serve as a general guide, not a detailed lot and district plan or mandate for development. Thus, as this request is solely related to the subdivision of property, not the use of the property, application of the Map for Mobile principles may be not be appropriate.

The proposed lots appear to meet the maximum width to depth ratio as regulated by Section V.D.3. of the Subdivision Regulations. The lot sizes in square feet and acres are depicted on the plat should be retained on the Final Plat, if approved.

The site has frontage onto Wilkinson Way a minor street with valley gutter and with a right-of-way width of 60 feet; and Jordan Lane, also a minor street with valley gutter but with a right-of-way width of 50'. An increased minimum building setback has been provide along Jordan Lane, thus no additional dedication will be required.

As a means of access management each lot should be limited to one curb-cut, with the size design or location to be approved by Traffic Engineering and comply with AASHTO standards.

The 25' minimum building setback line along Wilkinson Way as well as the 30' minimum building setback along Jordan Lane should be retained on the Final Plat, if approved.

The site has property lines at an intersection corner (Jordan Lane and Wilkinson Way). Section V.D.6. of the Subdivision Regulations requires that "*property lines at street intersection corners shall be arcs having radii of at least 10 feet or shall be chords of such arcs*". The curb radii is depicted on the preliminary plat, and if approved should be depicted on the Final Plat as well.

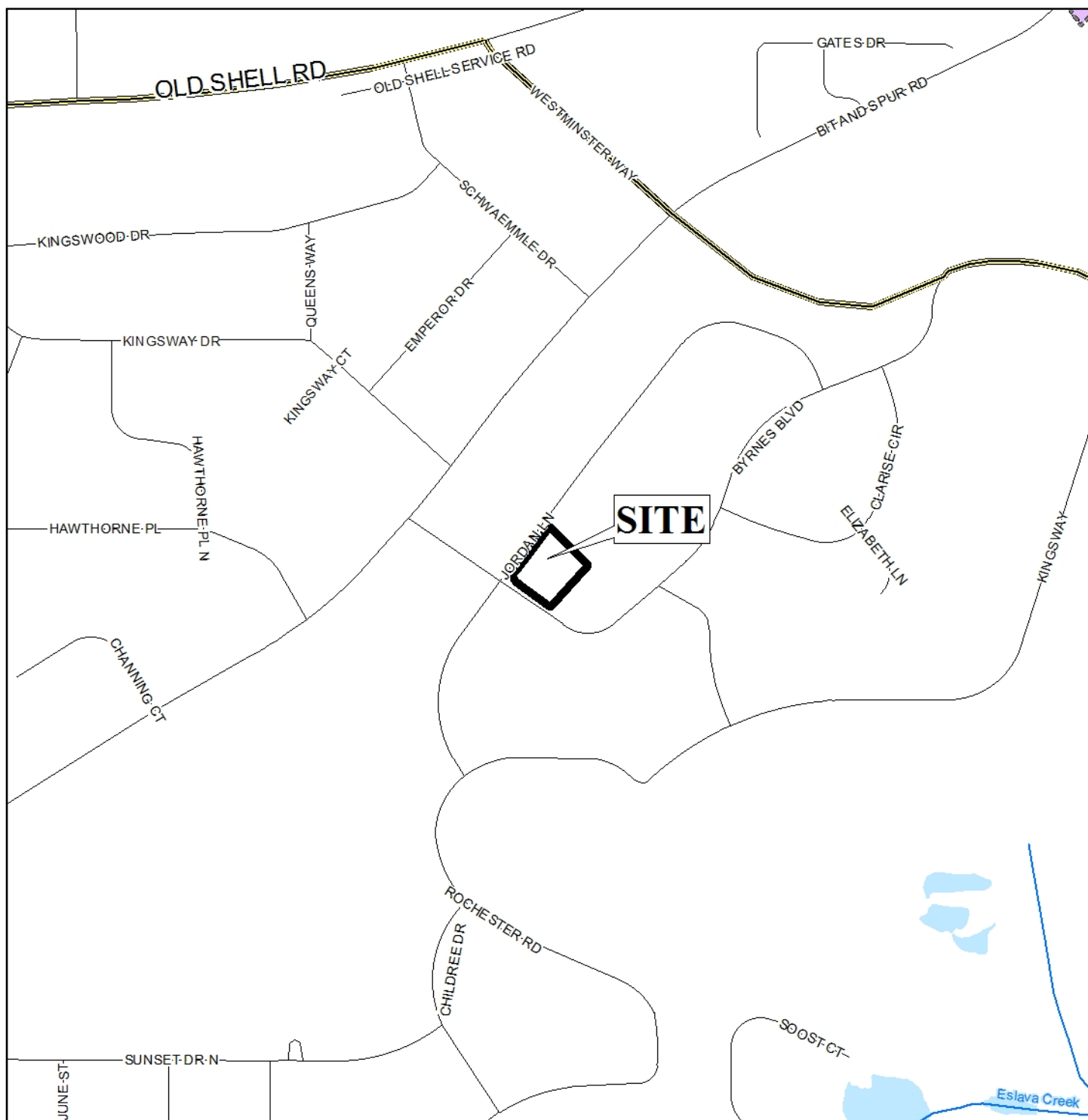
It should be noted, the preliminary plat depicts a 15' utility easement on the proposed Lot B, along with a note that reads, "vacation of unused utility easement at the rights of the property owners as recorded in mapbook 129, page 94". Provision of documentation depicting the vacation of the utility easement on the proposed Lot B will be required prior to the signing of the Final Plat.

Based upon the preceding, the application is recommended for Tentative Approval, subject to the following conditions:

- 1) submission of 7 copies of the Resubdivision Lot 19, First Unit of New Country Club Estates Subdivision to the Planning and Zoning Department prior to the signing of the Final Plat;
- 2) documentation depicting vacation of the utility easement located on Lot B prior to the signing of the Final Plat;
- 3) retention of the minimum building setback lines on both Lot 1 and Lot 2;

- 4) retention of the lot sizes in square feet and acres;
- 5) retention of the curb radii;
- 6) placement of a note on the final plat stating that each lot is limited to one (1) curb-cut each, with the size, design and location of all curb-cuts to be approved by Traffic Engineering and conform to AASHTO standards;
- 7) compliance with Engineers comments: *“The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer: A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. B. Provide the Surveyor’s, Owner’s (notarized), Planning Commission, and Traffic Engineering signatures. C. Clarify the status of the vacated easement (Note #17) and correct the label and note. D. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. E. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved. F. Provide a copy of the FINAL PLAT to the Engineering Dept. for FINAL PLAT review prior to obtaining any signatures. G. After FINAL PLAT review by the Engineering Dept. provide a copy of the Final Plat along with the original and any review copies when submitting for City Engineer signature.”*
- 8) compliance with Traffic Engineering comments: *“Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.”;*
- 9) compliance with Urban Forestry comments: *“Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).”; and*
- 10) compliance with Fire comments: *“All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code. (2012 IFC).”*

LOCATOR MAP



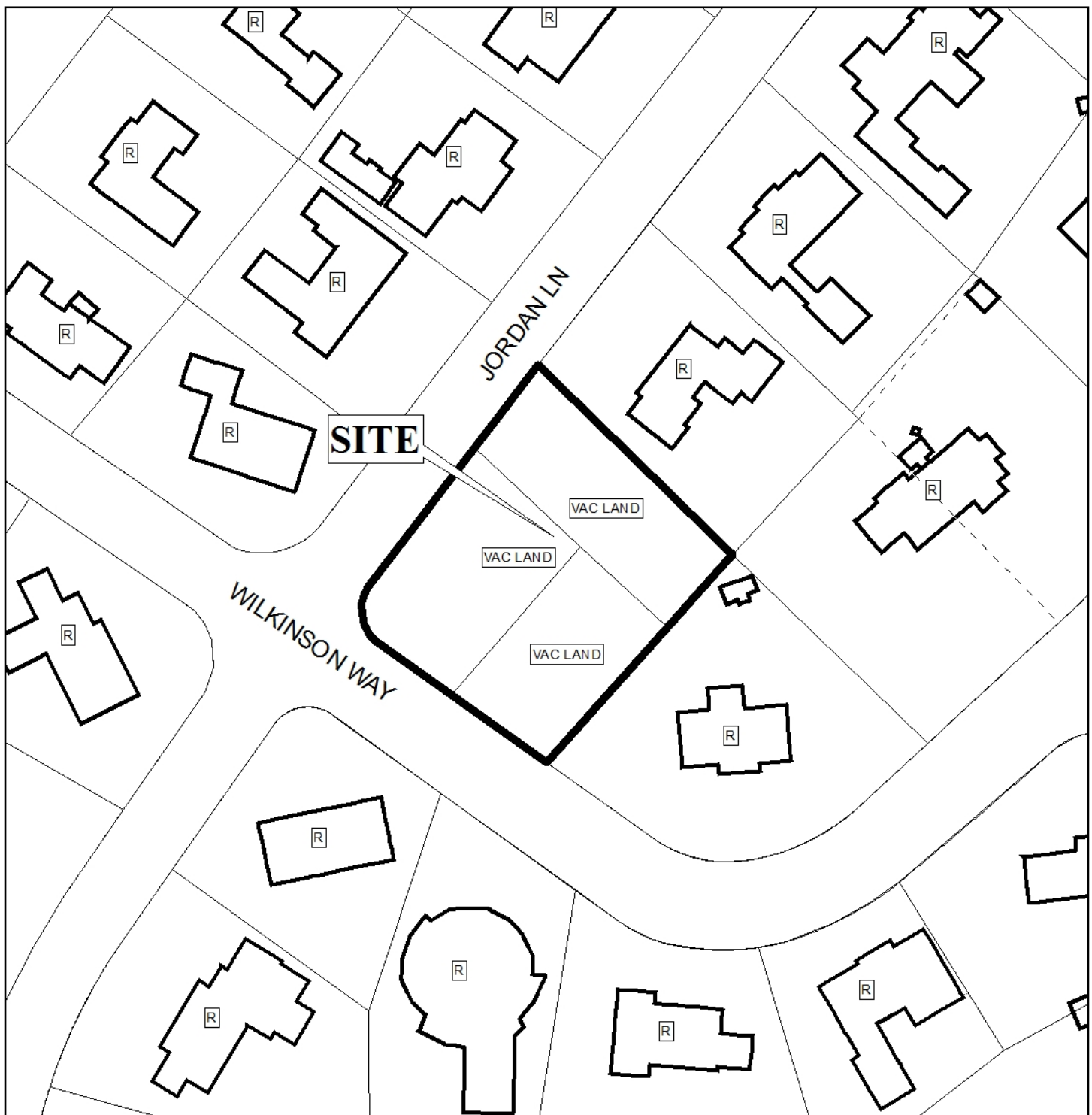
APPLICATION NUMBER 5 DATE July 7, 2016

APPLICANT Diamond Place Estates Subdivision

REQUEST Subdivision



DIAMOND PLACE ESTATES SUBDIVISION



APPLICATION NUMBER 5 DATE July 7, 2016

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



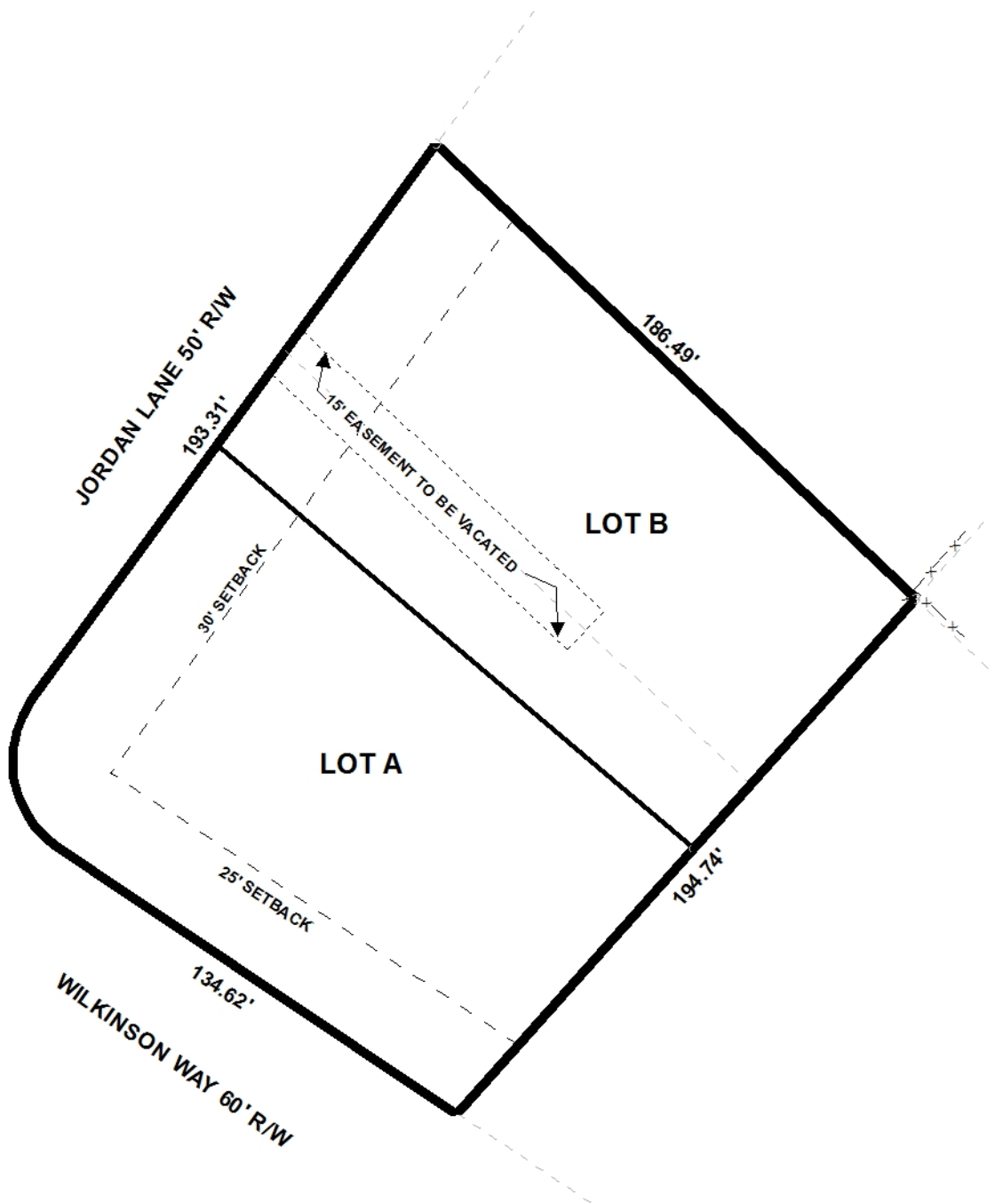
DIAMOND PLACE ESTATES SUBDIVISION



APPLICATION NUMBER 5 DATE July 7, 2016



DETAIL SITE PLAN



APPLICATION NUMBER 5 DATE July 7, 2016

APPLICANT Diamond Place Estates Subdivision

REQUEST Subdivision

