

**PLANNED UNIT DEVELOPMENT  
STAFF REPORT****Date: March 3, 2022**

<b><u>DEVELOPMENT NAME</u></b>	Richardson, Inc.
<b><u>LOCATION</u></b>	1066 Hillcrest Road (Northwest corner of Hillcrest Road and Johnston Lane.)
<b><u>PRESENT ZONING</u></b>	B-2, Neighborhood Business District
<b><u>CITY COUNCIL DISTRICT</u></b>	District 6
<b><u>AREA OF PROPERTY</u></b>	1 Lot / 1.7± Acres
<b><u>CONTEMPLATED USE</u></b>	Planned Unit Development Approval to amend a previously approved Planned Unit Development to allow multiple buildings on a single building site.
<b><u>TIME SCHEDULE FOR DEVELOPMENT</u></b>	Immediately.
<b><u>ENGINEERING COMMENTS</u></b>	<p>ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN:</p> <ol style="list-style-type: none"><li>Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Permitting Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).</li><li>A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems and paving will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.</li><li>Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, <u>Storm Water Management and Flood Control</u>; the <u>City of Mobile, Alabama Flood Plain Management Plan</u> (1984); and, the <u>Rules For Erosion and Sedimentation Control and Storm Water Runoff Control</u></li><li>Any existing or proposed detention facility shall be maintained as it was constructed and approved. The Land Disturbance Permit application for any proposed construction includes a requirement of a Maintenance and Inspection Plan (signed and notarized by the Owner) for</li></ol>

the detention facility. This Plan shall run with the land and be recorded in the County Probate Office prior to the Engineering Department issuing their approval for a Final Certificate of Occupancy.

- e. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals.
- f. The proposed development must comply with all Engineering Department design requirements and Policy Letters.

## **TRAFFIC ENGINEERING**

### **COMMENTS**

Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. Any required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

## **URBAN FORESTRY**

### **COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties [Act 929 of the 1961 Regular Session of the Alabama Legislature (Acts 1961, p. 1487), as amended, and City Code Chapters 57 and 65]. Private removal of trees in the right-of-way will require approval of the Mobile Tree Commission. Removal of heritage trees from undeveloped residential sites, developed residential sites in historic districts, and all commercial sites will require a tree removal permit.

## **FIRE DEPARTMENT**

### **COMMENTS**

All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Fire apparatus access is required to be within 150' of all commercial and residential buildings. A fire hydrant is required to be within 400' of non-sprinkled commercial buildings and 600' of sprinkled commercial buildings.

## **REMARKS**

The applicant is requesting Planned Unit Development Approval to amend a previously approved Planned Unit Development to allow multiple buildings on single building site.

The site has been given a Mixed Commercial Corridor (MCC) land use designation within the Future Land Use Plan and Map, adopted on May 18, 2017 by the Planning Commission. The Future Land Use Plan and Map complements and provides additional detail to the Development Framework Maps in the Map for Mobile, adopted by the Planning Commission at its November 5, 2015 meeting.

The MCC designation mostly applies to transportation corridors west of I-65 serving primarily low-density (suburban) residential neighborhoods. MCC includes a wide variety of retail, services and entertainment uses.

This designation acknowledges existing commercial development that is spread along Mobile's transportation corridors in a conventional strip pattern or concentrated into shorter segments of a corridor.

Over time, new development and redevelopment in Mixed Commercial Corridors is encouraged to raise design quality, improve connectivity to surrounding neighborhoods, improve streetscapes, and improve mobility and accessibility for all users of the corridor.

It should be noted that the Future Land Use Plan and Map components of the Map for Mobile Plan are meant to serve as a general guide, not a detailed lot and district plan. In many cases the designation on the new Future Land Use Map may match the existing use of land, but in others the designated land use may differ from what is on the ground today. As such, the Future Land Use Plan and Map allows the Planning Commission and City Council to consider individual cases based on additional information such as the classification request, the surrounding development, the timing of the request, and the appropriateness and compatibility of the proposed use and, where applicable, the zoning classification.

Planned Unit Development (PUD) review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and, that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties, as well as provide protection of adjacent properties from adverse effects from the PUD.

In pursuit of these purposes, the objectives to be met by a PUD are as follows: a) to encourage innovative and diversified design in building form and site development; b) flexibility, to permit greater flexibility in the location and arrangement of buildings and uses than is generally possible under district regulations; c) to encourage the most efficient and sustainable use of land, especially tracts in the inner part of the city that remain undeveloped or that are appropriate for re-development; d) to preserve and protect as urban amenities the natural features and characteristics of land; e) to encourage the provision of common open space through efficient site design; and, f) to encourage optimum use of available public utilities, streets and community facilities.

PUD approval is site plan-specific, thus any changes to the site plan will require Administrative PUD approval. Also, PUD approvals expire within one (1) year if no permits for the development are obtained.

The site was the subject of rezoning and PUD approvals at the August 18, 2011 Planning Commission meeting to rezone from R-1, Single-Family Residential District, and B-2, Neighborhood Business District, to B-2, Neighborhood Business District, and to allow development of the property as a carwash with multiple buildings on a single building site. Extension of the approvals was subsequently granted at the October 4, 2012 Planning Commission meeting, and the rezoning was adopted by City Council at its January 29, 2013

meeting, subject to the following conditions: 1) the development is limited to an approved PUD; and, 2) full compliance with all other municipal codes and ordinances. The site was developed accordingly.

The applicant now proposes to redevelop the site and replace existing carwash structures with an automated carwash structure, new vacuum bays, a canopy, drive-thru payment kiosks, and expand the parking lot to the rear of the property. The applicant is also requesting relief from Section 64-4.E.3.a.(1) of the Zoning Ordinance to allow reduced front landscape area. Because rezoning of the site was contingent upon PUD approval, and PUDs are site plan-specific, redevelopment of the site requires amending the PUD.

Use of the property as a carwash is allowed by right in the B-2 zoning district, subject to the enclosure and screening requirements of Section 64-12 of the Zoning Ordinance. As such, a note should be placed on a revised PUD site plan stating the proposed carwash facilities will comply with these requirements.

The site plan illustrates a 3,723.9± square-foot building, 1,841.5± square-feet of which is reserved for office use and a customer waiting area, and 1,882.4± square-feet of which is for the automated carwash facility and associated equipment. Twenty-four (24) vacuum bays are also illustrated and, while not depicted, a table on the site plan indicates they will be covered by a 4,912.5± square-foot canopy. As such, seven (7) off-street parking spaces are required, one (1) of which is required to be van accessible. Thirteen (13) parking spaces are illustrated, each of which appear to meet the minimum size requirements of Section 64-6.A.2. of the Zoning Ordinance; and two (2) parking spaces are depicted as van accessible, in compliance with International Building Code (IBC) regulations, one (1) of which serves as a vacuum stall.

Concrete curbing is depicted in both the parking and vacuum stall areas where vehicles could potentially extend beyond the parking lot.

Staff cannot verify the pattern of on-site circulation as no directional signage is depicted on the site plan. Considering there is presumably a mix of one-way and two-way traffic circulation on the site, the plan should be revised to depict the direction of traffic circulation. Furthermore, it appears there may inadequate drive-aisle widths for both one-way and two-way vehicle traffic. The applicant should be aware that drive aisles for two-way traffic circulation are required to be a minimum of 24-feet in width, and the required width of drive aisles for one-way traffic circulation is 14 feet. The plan should, therefore, be revised to depict compliance with these requirements, per Section 64-6.A. of the Zoning Ordinance.

Two-way access to/from the site is proposed along Hillcrest Road and Johnston Lane, the driveways for which are at least 24-feet in width in compliance with Section 64-6.A.2. of the Zoning Ordinance. With respect to access management, a note should be placed on the revised PUD site plan stating the Traffic Engineering comments.

Two (2) covered, drive-thru payment kiosks are proposed and, being electronic, are not required to meet the queuing regulations of the Zoning Ordinance for vehicle stacking from the right-of-way; however, it is unclear how vehicle stacking will occur due to the absence of directional

signage. As such, depending on how traffic will be circulated on site, the applicant may need to revise the site plan to ensure vehicles waiting to enter the carwash do not encroach in any right-of-way.

Due to the proposed amount of parking spaces and vacuum bays, a photometric plan depicting parking lot illumination will be required at the time of permitting. As such, a note should be placed on the revised site plan stating the site will comply with the illumination standards of Section 64-6.A.8. of the Zoning Ordinance and illustrated on a photometric plan submitted for review at the time of permitting.

Landscaping calculations for the site are provided and depict the minimum landscape area requirements of Section 64-4.E.3.a.(1). of the Zoning Ordinance, with the exception of required frontage landscape area. Given the size of the site, 5,347± square-feet of landscape area is required between the front property line and the building façade of the principal structure; 4,275± square-feet is proposed. In reviewing the previously approved PUD site plan, the Planning Commission approved 3,2589± square-feet of frontage landscape; thus, approval of the request for reduced frontage landscape area may be appropriate, especially considering more frontage landscaping is proposed than currently exists.

Some tree plantings are illustrated, but do not currently appear to meet the minimum tree planting requirements of Section 64-4.E.3. of the Zoning Ordinance. While tree plantings are not required to be depicted on the PUD site plan, redevelopment of the site requires full compliance with the tree planting requirements of the Zoning Ordinance. As such, a note stating as much should be provided on the revised PUD site plan, and a compliant tree planting/landscape area plan (not including the reduced frontage landscaping percentage) should be submitted for review at the time of permitting. Required frontage tree plantings should be coordinated with staff to insure the trees have sufficient room to grow and thrive.

It should also be noted that maintenance of the tree planting and landscape area plan is the responsibility of the property owner. As such, the property owner is required to sign the tree planting and landscape area plan acknowledging these requirements; or, the applicant may submit a notarized letter signed by the property owner with the same information.

A dumpster pad is illustrated on the site plan, but it is unclear if it will meet the enclosure and sanitary sewer connection requirements of Section 64-4.D.9. of the Zoning Ordinance. As such, a note should be placed on the revised site plan stating that any dumpster pad constructed on the property shall meet the enclosure and sanitary sewer connection requirements of Section 64-4.D.9. of the Zoning Ordinance. Such compliance shall be illustrated on the site plans required for review of the applicable permits. If curbside waste removal is instead proposed to be utilized, such information should be revised on the applicable site plans accordingly.

A sidewalk is illustrated along Hillcrest Road, but not along Johnston Lane. No Sidewalk Waiver appears to have been approved waiving construction of a sidewalk at this location. It should be noted, however, that no previous development approvals seem to have required construction of a sidewalk along Johnston Lane, perhaps since it is an unimproved roadway surfaced with gravel. Nevertheless, redevelopment of the site will require the construction of a sidewalk; or, the

applicant may request a Sidewalk Waiver from the Planning Commission. If a sidewalk is to be constructed along Johnston Lane, it should be illustrated on the revised site plan.

The site abuts residentially zoned property to the West, thus requiring a protection buffer in the form of a wall, wooden privacy fence, or the inclusion of a screen planting strip in compliance with Section 64-4.D.1. of the Zoning Ordinance. It seems there may be a fence along the West property line, but no note identifies the fence, and the illustration is not depicted in any legend on the site plan. As such, the site plan should be revised to either identify an existing buffer, or illustrate a buffer in compliance with Section 64-4.D.1. of the Zoning Ordinance.

A 12'-wide drainage and utility easement, and a 10'-wide sanitary sewer easement occur on portions of the site. As such, a note should be placed on the revised site plan stating no structures shall be constructed or placed within any easement without permission of the easement holder.

No signage is depicted on the site plan, and no information regarding signage was provided to staff for review. All proposed signage for the site requires separate reviews by, and permits from, the Planning and Zoning Department. Illuminated signage also requires its design and construction to be completed by a licensed and bonded sign contractor, along with additional Electrical Permits from the Permitting Department.

All structures are proposed to meet the setback requirements of the B-2 zoning district, including the proposed carwash structure, which meets the 5-foot supplemental setback provision of Section 64-4.D.2. of the Zoning Ordinance.

Finally, a copy of the revised PUD site plan should be submitted to, and approved by, the Planning and Zoning Department prior to any requests for Building or Land Disturbance permits.

### **RECOMMENDATION**

Staff recommends the following Findings of Fact for Approval of the Planned Unit Development:

- a. the proposal promotes the objective of Creative design (to encourage innovative and diversified design in building form and site development), because greater flexibility is required due to the scope and scale of the site, and due to existing conditions and constraints;
- b. the proposal promotes the objective of Flexibility (to permit greater flexibility in the location and arrangement of buildings and uses than is generally possible under district regulations), by allowing multiple buildings on a single building site and reduced frontage landscaping;
- c. the proposal promotes the objective of Efficient land use (to encourage the most efficient and sustainable use of land, especially tracts in the inner part of the city that remain undeveloped or that are appropriate for redevelopment), because the applicant is endeavoring to maintain the economic viability of a commercial corridor of the city;
- d. the proposal promotes the objective of Environment (to preserve and protect as urban amenities the natural features and characteristics of the land), because the development is providing additional (overall) landscape area;

- e. the proposal promotes the objective of Open space (to encourage the provision of common open space through efficient site design), because additional greenspace will be provided within the development; and,
- f. the proposal promotes the objective of Public services (to encourage optimum use of available public utilities, streets and community facilities), because the development will utilize existing public infrastructure.

The Approval should be subject to the following conditions:

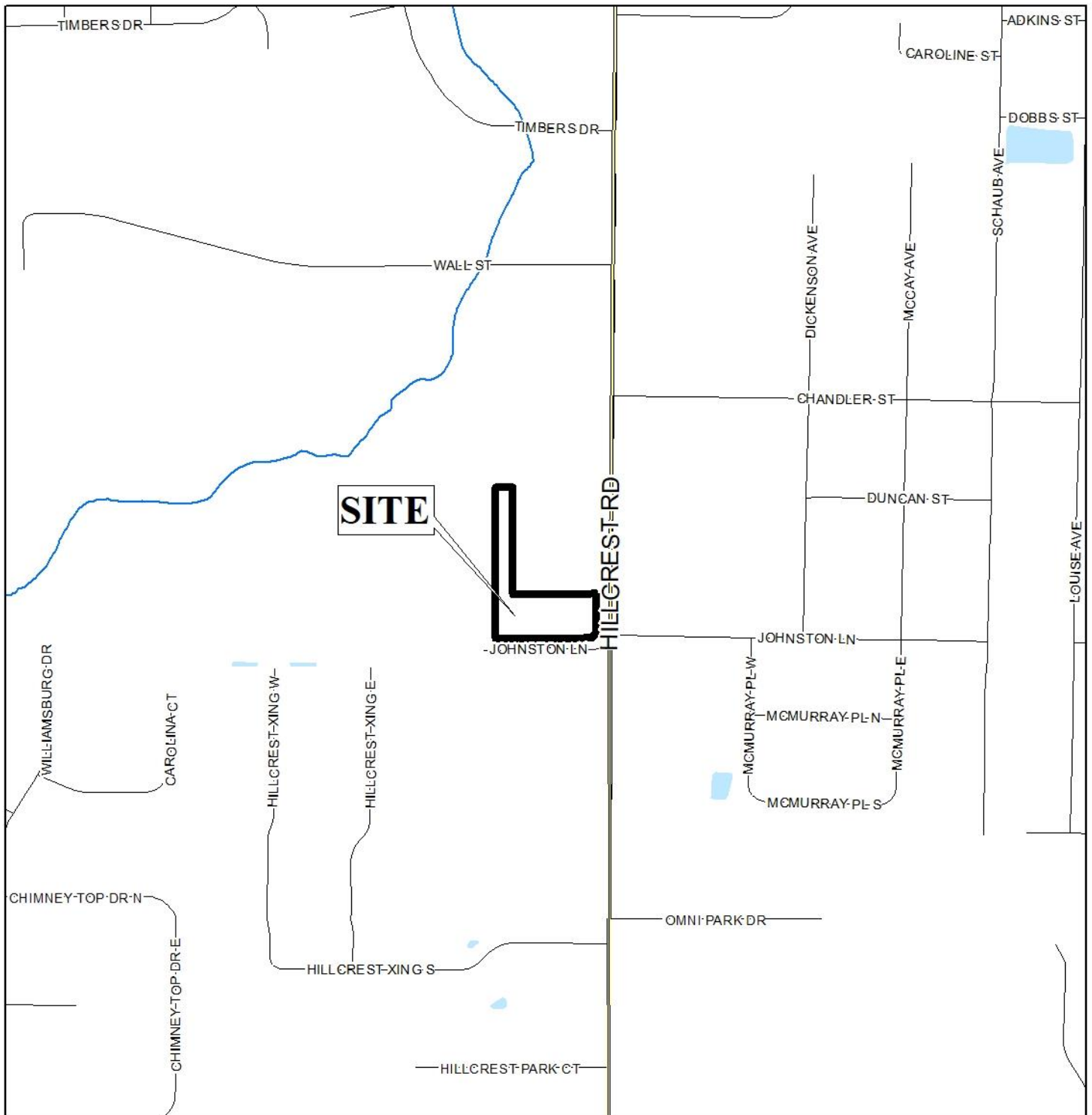
- 1) Placement of a note on the revised site plan stating the carwash facilities will meet the enclosure and screening requirements of Section 64-12 of the Zoning Ordinance;
- 2) Revision of the site plan to depict compliance with the minimum width requirements of Section 64-6.A. of the Zoning Ordinance for one-way and two-way traffic circulation.
- 3) Revision of the site plan to illustrate the direction of on-site traffic circulation;
- 4) Placement of a note on the revised site plan stating the site shall comply with the parking lot lighting requirements of Section 64-6.A.8. of the Zoning Ordinance, and that a photometric plan in compliance with these requirements will be submitted at the time of permitting;
- 5) Placement of a note on the site plan stating that the site will comply, with the exception of frontage landscape area, with the tree planting and landscape area requirements of Section 64-4.E. of the Zoning Ordinance, and that a tree planting and landscape area plan in compliance with these requirements will be submitted at the time of permitting;
- 6) Placement of a note on the revised site plan stating any dumpster placed on the property will meet the enclosure and sanitary sewer requirements of Section 64-4.D.9. of the Zoning Ordinance;
- 7) Revision of the site plan to illustrate a sidewalk along Johnston Lane, or submission of a Sidewalk Waiver for review by the Planning Commission, prior to the approval of any associated permits;
- 8) Revision of the site plan to either identify compliance with the residential buffer requirements of Section 64-4.D.1. of the Zoning Ordinance, or to illustrate a buffer in compliance with these requirements;
- 9) Placement of a note on the revised site plan stating no structures shall be placed within any easement without permission of the easement holder;
- 10) Compliance with Engineering comments: *(ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN: a) Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Permitting Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). b) A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems and paving will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. c) Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation*

*Control and Storm Water Runoff Control d) Any existing or proposed detention facility shall be maintained as it was constructed and approved. The Land Disturbance Permit application for any proposed construction includes a requirement of a Maintenance and Inspection Plan (signed and notarized by the Owner) for the detention facility. This Plan shall run with the land and be recorded in the County Probate Office prior to the Engineering Department issuing their approval for a Final Certificate of Occupancy. e) The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals. f) The proposed development must comply with all Engineering Department design requirements and Policy Letters.);*

- 11) Placement of a note on the site plan stating Traffic Engineering comments: *(Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. Any required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
- 12) Compliance with Urban Forestry comments: *(Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties [Act 929 of the 1961 Regular Session of the Alabama Legislature (Acts 1961, p. 1487), as amended, and City Code Chapters 57 and 65]. Private removal of trees in the right-of-way will require approval of the Mobile Tree Commission. Removal of heritage trees from undeveloped residential sites, developed residential sites in historic districts, and all commercial sites will require a tree removal permit.);*
- 13) Compliance with Fire Department comments: *(All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Fire apparatus access is required to be within 150' of all commercial and residential buildings. A fire hydrant is required to be within 400' of non-sprinkled commercial buildings and 600' of sprinkled commercial buildings.); and,*
- 14) Provision of a copy of the revised PUD site plan for review by the Planning and Zoning Department prior to the approval of any permits.



# LOCATOR MAP



APPLICATION NUMBER 5 DATE March 3, 2022

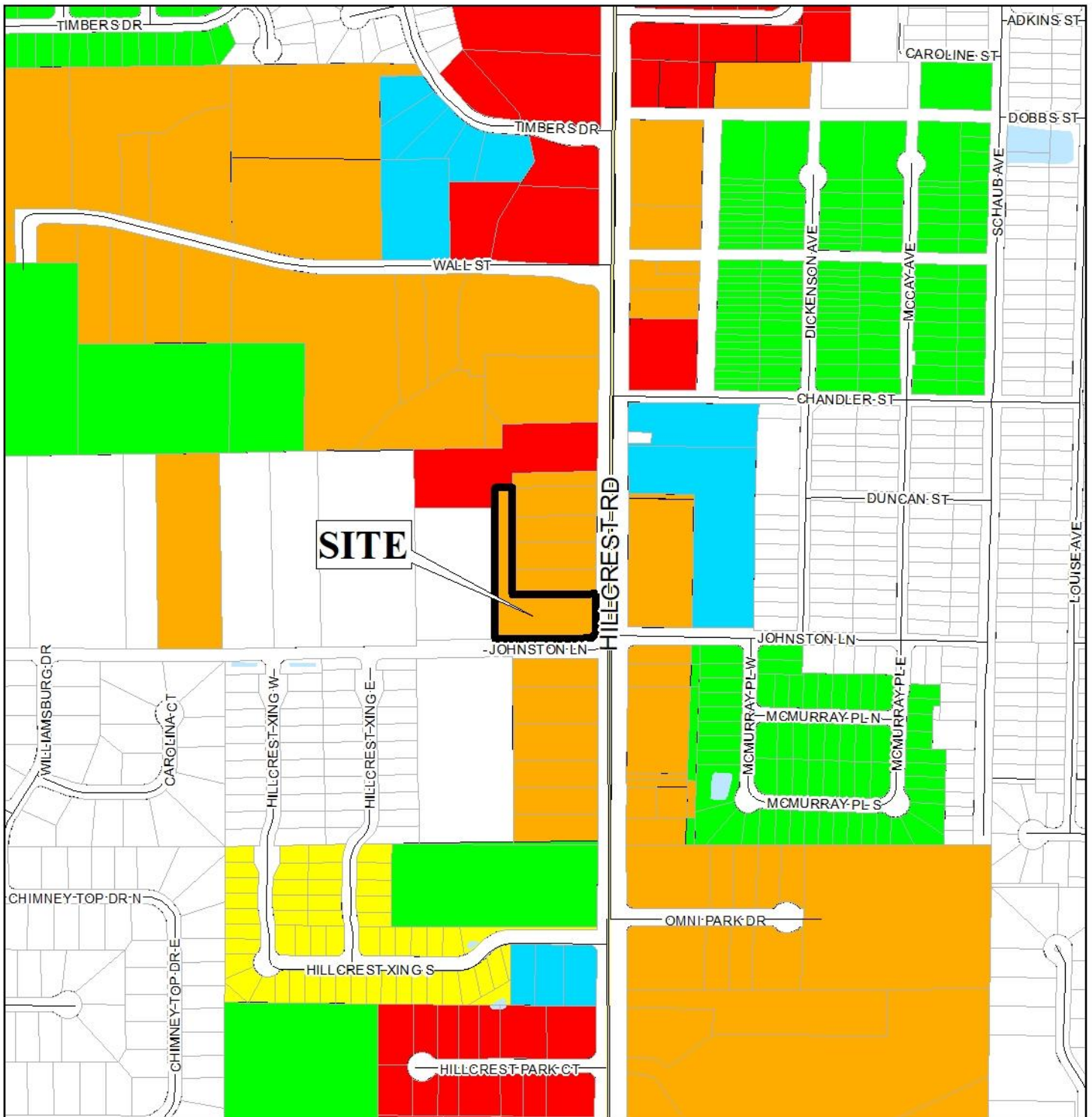
APPLICANT Richardson, Inc.

REQUEST Planned Unit Development



NTS

# LOCATOR ZONING MAP



APPLICATION NUMBER 5 DATE March 3, 2022

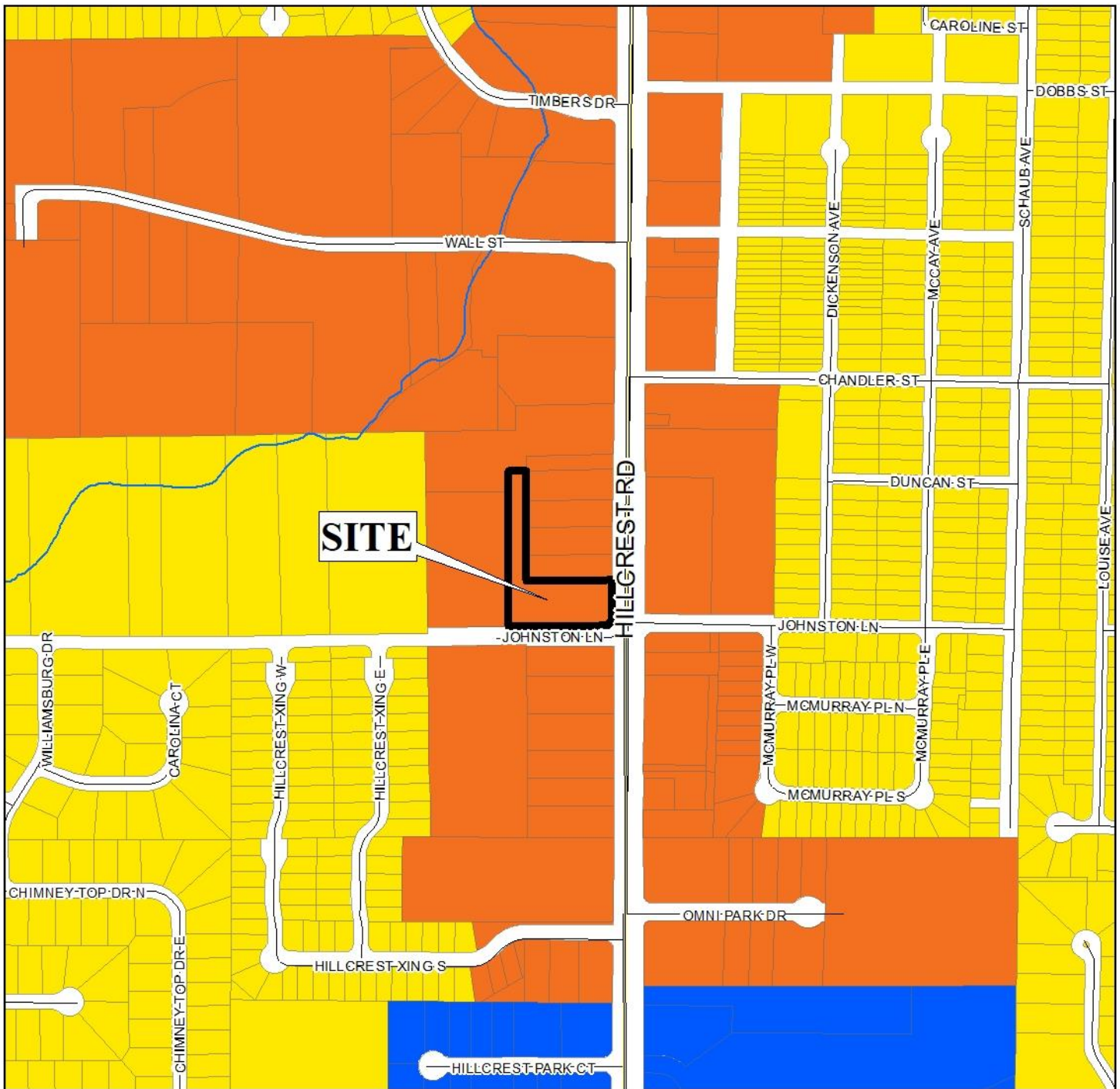
APPLICANT Richardson, Inc.

REQUEST Planned Unit Development



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# FLUM LOCATOR MAP



APPLICATION NUMBER 5 DATE March 3, 2022

APPLICANT Richardson, Inc.

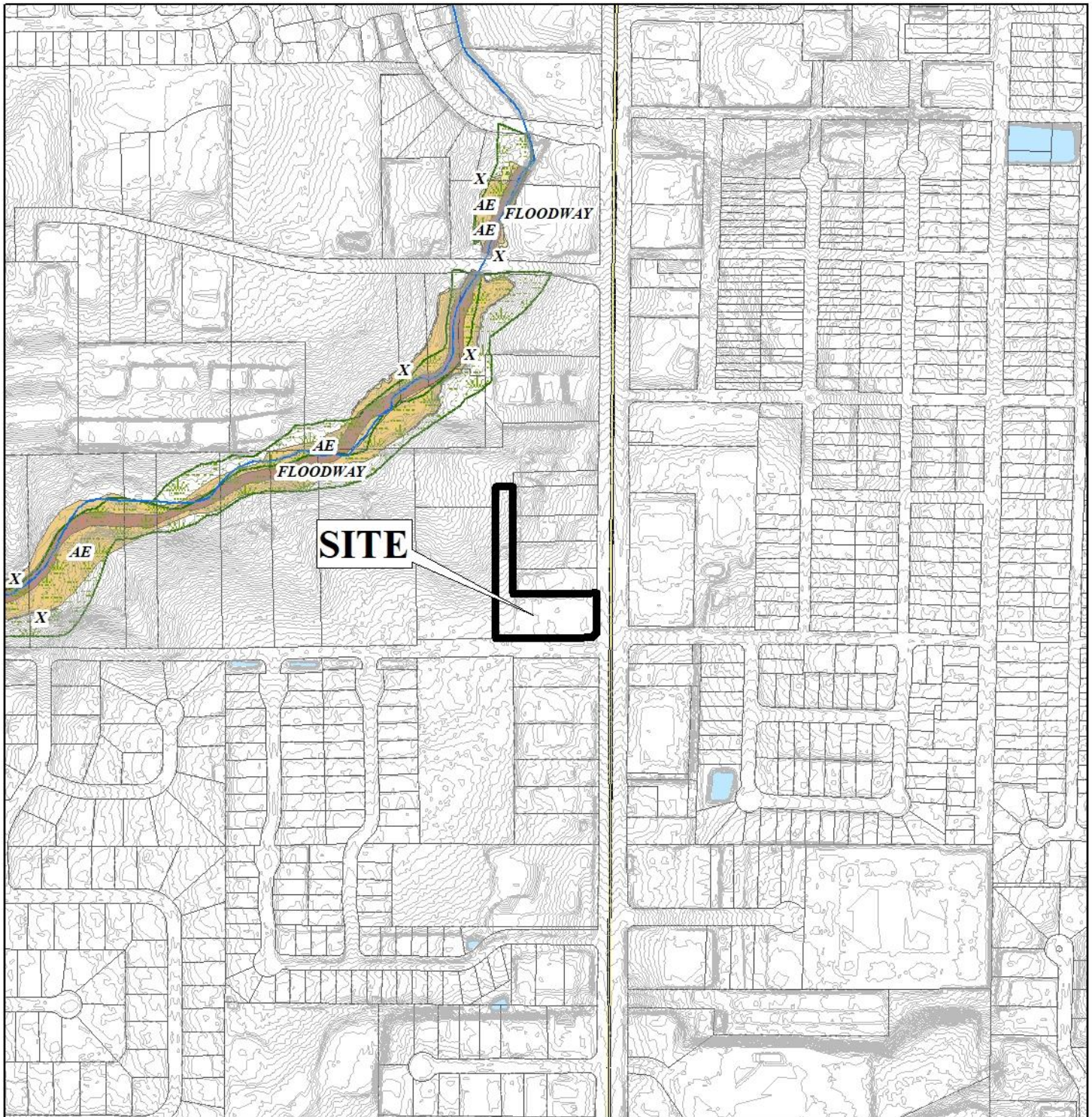
REQUEST Planned Unit Development

Low Density Residential	Neighborhood Center - Traditional	Downtown Waterfront	Parks & Open Space
Mixed Density Residential	Neighborhood Center - Suburban	Light Industry	Water Dependent
Downtown	Traditional Corridor	Heavy Industry	
District Center	Mixed Commercial Corridor	Institutional	





# ENVIRONMENTAL LOCATOR MAP



APPLICATION NUMBER 5 DATE March 3, 2022

APPLICANT Richardson, Inc.

REQUEST Planned Unit Development





# PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by offices, and residential units to the southwest.

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APPLICANT Richardson, Inc.

REQUEST Planned Unit Development

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6





# PLANNING COMMISSION VICINITY MAP - EXISTING AERIAL



The site is surrounded by offices, and residential units to the southwest.

APPLICATION NUMBER 5 DATE March 3, 2022

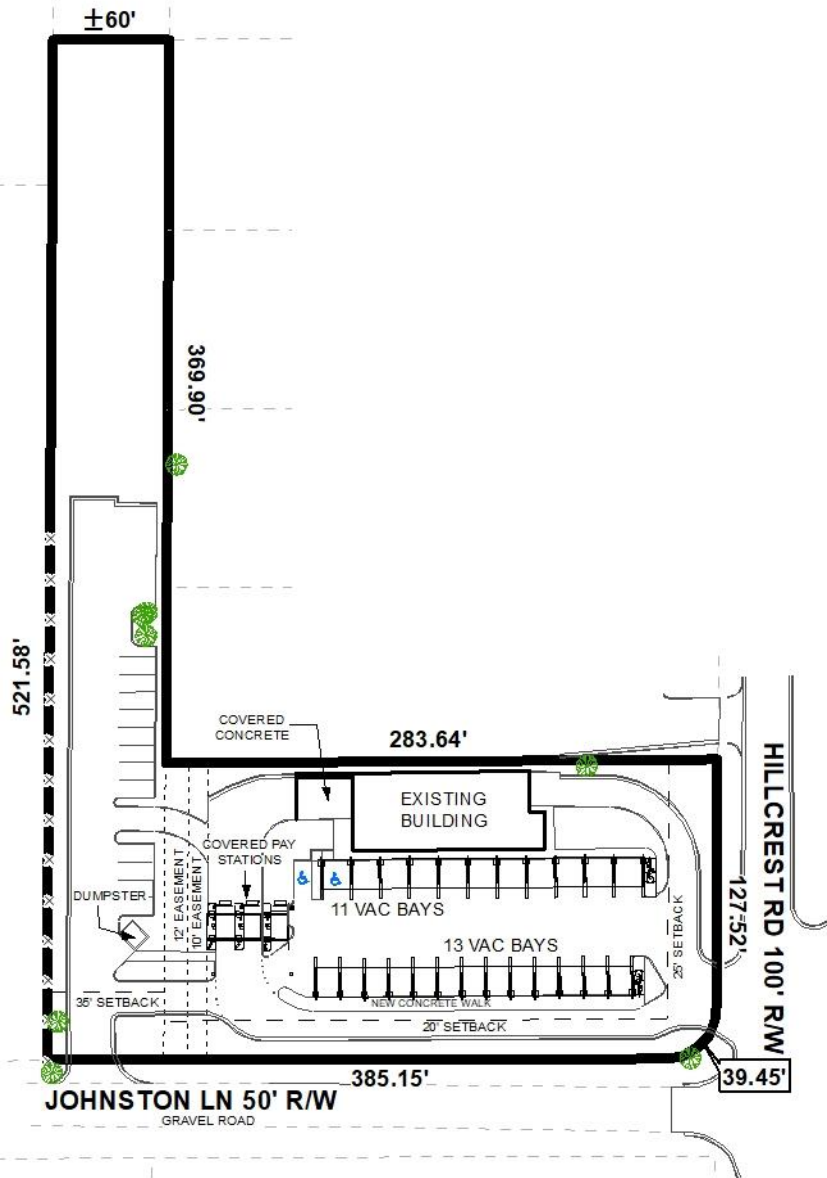
APPLICANT Richardson, Inc.

REQUEST Planned Unit Development



NTS

# SITE PLAN



The site plan illustrates setbacks, easements, an existing building and proposed surfaces and parking.

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APPLICANT Richardson, Inc.  
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