

**PLANNED UNIT DEVELOPMENT
STAFF REPORT****Date: June 2, 2022**

<u>DEVELOPMENT NAME</u>	MACP Timber Ridge Two, LLC
<u>LOCATION</u>	6700 and 6591 Wall Street (South side of Wall Street, 715'± West of Hillcrest Road.)
<u>PRESENT ZONING</u>	B-2, Neighborhood Business District
<u>CITY COUNCIL DISTRICT</u>	District 6
<u>AREA OF PROPERTY</u>	2 Lots / 24.8± Acres
<u>CONTEMPLATED USE</u>	Planned Unit Development Approval to amend a previously approved Planned Unit Development to allow multiple buildings on a single building site.
<u>TIME SCHEDULE FOR DEVELOPMENT</u>	Immediately.
<u>ENGINEERING COMMENTS</u>	<p>ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN:</p> <p>A. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Permitting Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).</p> <p>B. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems and paving will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.</p> <p>C. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.</p> <p>D. Any existing or proposed detention facility shall be maintained as it was constructed and approved. The Land Disturbance Permit application for any proposed construction includes a requirement of a Maintenance and Inspection Plan (signed and notarized by the Owner) for</p>

the detention facility. This Plan shall run with the land and be recorded in the County Probate Office prior to the Engineering Department issuing their approval for a Final Certificate of Occupancy.

- E. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals.
- F. The proposed development must comply with all Engineering Department design requirements and Policy Letters.

TRAFFIC ENGINEERING

COMMENTS

Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. Any required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

URBAN FORESTRY

COMMENTS

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties [Act 929 of the 1961 Regular Session of the Alabama Legislature (Acts 1961, p. 1487), as amended, and City Code Chapters 57 and 65]. Private removal of trees in the right-of-way will require approval of the Mobile Tree Commission. Removal of heritage trees from undeveloped residential sites, developed residential sites in historic districts, and all commercial sites will require a tree removal permit.

FIRE DEPARTMENT

COMMENTS

All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Fire apparatus access is required to be within 150' of all commercial and residential buildings. A fire hydrant is required to be within 400' of non-sprinkled commercial buildings and 600' of sprinkled commercial buildings.

REMARKS

The applicant is requesting Planned Unit Development Approval to amend a previously approved Planned Unit Development to allow multiple buildings on single building site.

The site has been given a Mixed Commercial Corridor (MCC) land use designation within the Future Land Use Plan and Map, adopted on May 18, 2017 by the Planning Commission. The Future Land Use Plan and Map complements and provides additional detail to the Development Framework Maps in the Map for Mobile, adopted by the Planning Commission at its November 5, 2015 meeting.

The MCC designation mostly applies to transportation corridors west of I-65 serving primarily low-density (suburban) residential neighborhoods. MCC includes a wide variety of retail, services and entertainment uses.

This designation acknowledges existing commercial development that is spread along Mobile's transportation corridors in a conventional strip pattern or concentrated into shorter segments of a corridor.

Over time, new development and redevelopment in Mixed Commercial Corridors is encouraged to raise design quality, improve connectivity to surrounding neighborhoods, improve streetscapes, and improve mobility and accessibility for all users of the corridor.

It should be noted that the Future Land Use Plan and Map components of the Map for Mobile Plan are meant to serve as a general guide, not a detailed lot and district plan. In many cases the designation on the new Future Land Use Map may match the existing use of land, but in others the designated land use may differ from what is on the ground today. As such, the Future Land Use Plan and Map allows the Planning Commission and City Council to consider individual cases based on additional information such as the classification request, the surrounding development, the timing of the request, and the appropriateness and compatibility of the proposed use and, where applicable, the zoning classification.

Planned Unit Development (PUD) review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and, that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties, as well as provide protection of adjacent properties from adverse effects from the PUD.

In pursuit of these purposes, the objectives to be met by a PUD are as follows: a) to encourage innovative and diversified design in building form and site development; b) flexibility, to permit greater flexibility in the location and arrangement of buildings and uses than is generally possible under district regulations; c) to encourage the most efficient and sustainable use of land, especially tracts in the inner part of the city that remain undeveloped or that are appropriate for re-development; d) to preserve and protect as urban amenities the natural features and characteristics of land; e) to encourage the provision of common open space through efficient site design; and, f) to encourage optimum use of available public utilities, streets and community facilities.

PUD approval is site plan-specific, thus any changes to the site plan will require Administrative PUD approval. Also, PUD approvals expire within one (1) year if no permits for the development are obtained.

The site was originally the subject of rezoning from R-A, Residential-Agricultural District, to B-2, Neighborhood Business District, at the May 3, 1979 Planning Commission meeting. The Commission recommended approval of the request to City Council, which subsequently adopted the rezoning at its June 12, 1979 meeting.

The adjacent site was originally the subject of rezoning from R-1, Single-Family Residential District, to R-3, Multi-Family Residential District, and B-2, Neighborhood Business District, the ordinance for which was adopted by the City Council at its October 11, 1983 meeting. At its November 2, 1999 meeting, the City Council adopted an ordinance rezoning the B-2 portion of the site to R-3.

Most recently, the site was part of the First Addition of the Wall Street Commercial Park Subdivision, a three-lot subdivision approved by the Planning Commission at its February 18, 1999 meeting, the plat for which was recorded in Mobile County Probate Court on June 1, 1999.

Lot 1 of the aforementioned subdivision was developed over the years with various PUD approvals as an apartment complex with multiple buildings and shared access. The applicant is now requesting to incorporate the subject site into the original PUD as an additional phase of the apartment complex. As mentioned, the site is zoned B-2, Neighborhood Business District, thus the proposed use is allowed by right; however, PUD approval is required to allow multiple buildings and shared access.

It should be noted that the PUD application indicates the name of the proposed development is Timber Ridge Phase II. This would conflict with the name of the most recent PUD approval of the adjacent site, which is identified as Timber Ridge Apartment Phase II. As such, the applicant may want to consider renaming the proposed development to avoid future confusion.

The site plan illustrates five (5) new apartment buildings and one (1) new mail kiosk on 6.02± acres. Buildings 1, 2, 3, and 5 are each proposed to have 24 dwelling units, and Building 4 is proposed to have 12 dwelling units, for a total of 108 dwelling units. Section 64-6.A.6. requires 1½ off-street parking spaces per dwelling unit, thus 162 parking spaces are required. A note on the site plan indicates 169 parking spaces are provided, but staff counts 159 on-site parking spaces. Additionally, 14 spaces are illustrated on the adjacent site and appear to be proposed as an extension of the existing parking lot. As such, the proposed development will not only share access with the adjacent development, but will also share parking in order to be in compliance with the off-street parking requirements of the Zoning Ordinance. If approved, the site plan should be revised to reflect the total number of dwelling units and parking spaces so that staff can confirm compliance.

It is unclear if each of the parking spaces will meet the minimum size requirements for stall length and width. Section 64-6.A.2. requires each standard parking stall to be a minimum of 9-feet in width and 18-feet in length. It is also unclear if each of the drive aisles will meet the minimum width requirements for two-way traffic circulation. Each drive aisle facilitating two-traffic circulation must be at least 24-feet wide, in compliance with Section 64-6.A.2. of the Zoning Ordinance.

Due to the amount of proposed parking, a photometric plan depicting parking lot illumination will be required at the time of permitting. As such, a note should be placed on the revised site plan stating the site will comply with the illumination standards of Section 64-6.A.8. of the Zoning Ordinance and illustrated on a photometric plan submitted for review at the time of permitting.

It should be noted that the proposed parking may result in an increase in parking for the overall development by 25% or more. If so, the photometric plan should incorporate the parking lot lighting for all parking areas within the PUD.

The site plan does not clearly depict curbing or wheel stops along any portion of the parking lot where vehicles could extend beyond the parking area, and there is no indication the parking lot will be paved. As such, the site must comply with the maintenance provisions of Section 64-6.A.3. of the Zoning Ordinance regarding surfacing and wheel stops.

Regarding access management, the site is proposed to be accessed from the adjacent property, and from Wall Street. Concerns about the impact increased traffic may have on the surrounding area were raised during previous phases of the development, particularly since Wall Street is a minor street that feeds onto Hillcrest Road. However, approval of the most recent phase was contingent upon the developer providing traffic signals at the intersection of Wall Street and Hillcrest Road, which have since been provided; therefore, concerns regarding increased traffic having an impact on the surrounding area should be minimal. Nevertheless, a note should be placed on a revised site plan stating Traffic Engineering comments.

A tree planting plan was provided and illustrates compliance with the requirements of Section 64-4.E.3 of the Zoning Ordinance; however, it should be noted that perimeter tree calculations for lots within a PUD are only calculated using the outside lot perimeter, not interior lot lines which abut other lots within the PUD. As such, the tree planting plan should be revised to correct this information; or, a compliant tree plan incorporating the calculations for all lot lines may be submitted at the time of permitting. Required frontage tree plantings should be coordinated with staff to insure the trees have sufficient room to grow and thrive.

A 50-foot minimum building setback line is recorded along Wall Street, but a note on the tree planting plan indicates there is a 25-foot setback. The plan should therefore be revised at the time of permitting to illustrate a 50-foot minimum building setback along Wall Street.

No landscape area calculations are provided, but they will be required to be provided on the revised tree plan submitted at the time of permitting. The calculations should reflect compliance with Section 64-4.E.3.a.(1) of the Zoning Ordinance, if approved.

Because a tree planting and landscape area plan is not required as part of PUD review, a note should be provided on the revised PUD site plan stating that the site shall comply with the tree planting and landscape area requirements of Section 64-4.E. of the Zoning Ordinance; and, as previously mentioned, a compliant tree planting and landscape area plan will be required at the time of permitting.

It should also be noted that maintenance of the tree planting and landscape area is the responsibility of the property owner. As such, the property owner is required to sign the tree planting and landscape area plan acknowledging these requirements; or, the applicant may submit a notarized letter signed by the property owner with the same information.

No dumpsters are illustrated on the site plan, and there is no note stating curbside trash service will be utilized. Any dumpster placed on the property should meet the enclosure and sanitary sewer requirements of Section 64-4.D.9. of the Zoning Ordinance. As such, a note should be placed on the revised site plan stating that any dumpster pad constructed on the property shall meet the enclosure and sanitary sewer connection requirements of Section 64-4.D.9. of the Zoning Ordinance. Such compliance shall be illustrated on the site plans required for review of the applicable permits. If curbside waste removal is instead proposed to be utilized, this information should be revised on the applicable site plans accordingly.

No sidewalk is illustrated along the site's street frontage. Sidewalks are required along the street frontages of all new developments and redevelopments within the city, per the City's Complete Streets Policy adopted by City Council in 2011. As such, a sidewalk should be illustrated along Wall Street on the revised site plan; or, the applicant may request Sidewalk Waiver Approval from the Planning Commission to waive this requirement. However, it should be noted that there are sidewalks on Wall Street abutting nearly all developed properties.

The site abuts residentially zoned property to the West and South, thus requiring a protection buffer in the form of a wall, wooden privacy fence, or the inclusion of a screen planting strip in compliance with Section 64-4.D.1. of the Zoning Ordinance. Because the residentially zoned property to the West is part of the same PUD as the subject site, a waiver of the protection buffer requirement along the West property line may be appropriate. However, a protection buffer should still be required along the South property line. Notes on the site plan indicate existing vegetation and a fence are to be provided, but it is unclear if they will meet the width and height requirements of the Zoning Ordinance. As such, the site plan should be revised to identify the dimensions of the proposed buffer, in compliance with Section 64-4.D.1. of the Zoning Ordinance.

A drainage easement is illustrated along portions of the South property line. As such, a note should be placed on the revised site plan stating no structures shall be constructed or placed within any easement without permission of the easement holder.

No signage is depicted on the site plan, and no information regarding signage was provided to staff for review. All proposed signage for the site requires separate reviews by, and permits from, the Planning and Zoning Department, and all signage shall comply with Section 64-11.8(2) of the Zoning Ordinance. Illuminated signage also requires its design and construction to be completed by a licensed and bonded sign contractor, along with additional Electrical Permits from the Permitting Department.

All dwelling structures are proposed to meet the setback requirements of the B-2 zoning district, but the mail kiosk is proposed to be constructed on the property line between the subject site and the adjoining property, to the West. As such, the proposed mail kiosk should be moved to meet the setbacks of the underlying zoning district of the property on which it will be placed. If placed on the subject site, a zero-foot setback is permitted, subject to Building and Fire Code compliance; however, if a setback is provided, it must be a minimum width of five (5) feet, per Section 64-4.D.2. of the Zoning Ordinance.

Elevation drawings provided by the applicant depict each dwelling structure will have three (3) floors. The finished floor elevation (FFE) of each structure is not provided, but they do not appear to exceed the 45-foot maximum height restriction of the B-2 zoning district.

A portion of the site appears to contain flood zones associated with a branch of Milkhouse Creek.

Finally, a copy of the revised PUD site plan should be submitted to, and approved by, the Planning and Zoning Department prior to any requests for Building or Land Disturbance permits.

RECOMMENDATION

Staff recommends the following Findings of Fact for Approval of the Planned Unit Development:

- a. the proposal promotes the objective of Creative design (to encourage innovative and diversified design in building form and site development), because greater flexibility is required due to the scope and scale of the site, and due to existing conditions and constraints;
- b. the proposal promotes the objective of Flexibility (to permit greater flexibility in the location and arrangement of buildings and uses than is generally possible under district regulations), by allowing multiple buildings on a single building site, shared access with the adjacent development, and shared parking;
- c. the proposal promotes the objective of Efficient land use (to encourage the most efficient and sustainable use of land, especially tracts in the inner part of the city that remain undeveloped or that are appropriate for redevelopment) because it provides additional dwelling units within an established multi-family residential development;
- d. the proposal promotes the objective of Environment (to preserve and protect as urban amenities the natural features and characteristics of the land), because the development is providing additional tree plantings and landscape area, and avoiding development in the flood zones;
- e. the proposal promotes the objective of Open space (to encourage the provision of common open space through efficient site design), because additional greenspace will be provided within the development; and,
- f. the proposal promotes the objective of Public services (to encourage optimum use of available public utilities, streets and community facilities), because the development will utilize existing public infrastructure.

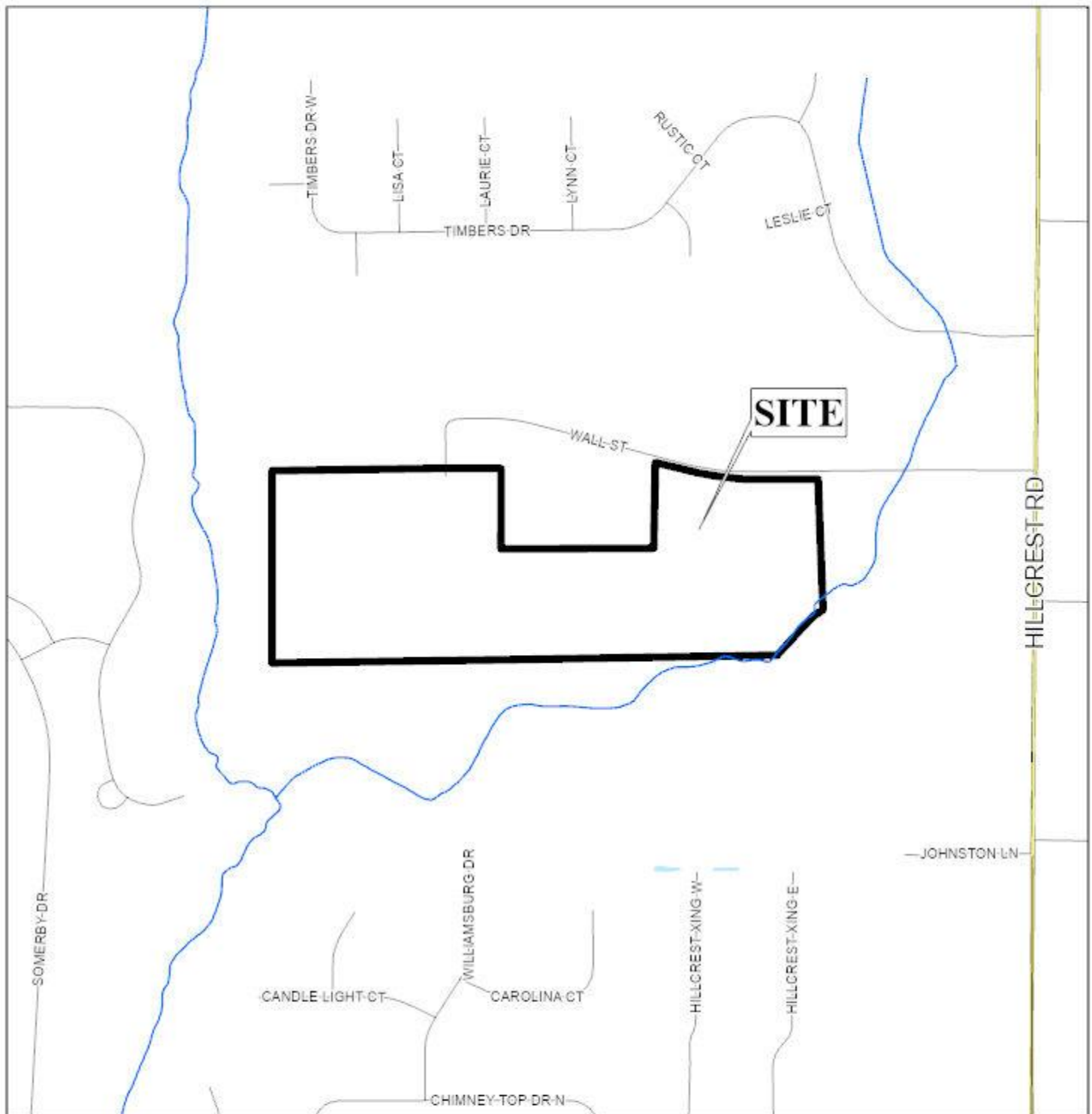
The Approval should be subject to the following conditions:

- 1) Revision of the name and/or phase of the development to avoid duplicating the name of the adjacent development, if applicable;
- 2) Revision of a note on the site plan to provide the correct number of total dwelling units and on-site parking spaces;
- 3) Placement of a note on the revised site plan stating the site shall comply with the parking lot lighting requirements of Section 64-6.A.8. of the Zoning Ordinance, and that a photometric plan in compliance with these requirements will be submitted at the time of permitting;

- 4) Placement of a note on the site plan stating that the site will comply with the tree planting and landscape area requirements of Section 64-4.E. of the Zoning Ordinance, and that a tree planting and landscape area plan in compliance with these requirements will be submitted at the time of permitting;
- 5) Placement of a note on the revised site plan stating any dumpster placed on the property will meet the enclosure and sanitary sewer requirements of Section 64-4.D.9. of the Zoning Ordinance;
- 6) Revision of the site plan to illustrate a sidewalk along Wall Street, or submission of a Sidewalk Waiver for review by the Planning Commission, prior to the approval of any associated permits;
- 7) Revision of the site plan to identify the dimensions of the protection buffer along the South property line, in compliance with Section 64-4.D.1. of the Zoning Ordinance;
- 8) Placement of a note on the revised site plan stating no structures shall be placed within any easement without permission of the easement holder;
- 9) Revision of the site plan to relocate the proposed mail kiosk to meet the setbacks of the underlying zoning district, or of the supplementary yard regulations of Section 64-4.D.2. of the Zoning Ordinance if relocated to the subject site, as applicable;
- 10) Compliance with Engineering comments: (*ADD THE FOLLOWING NOTES TO THE PUD SITE PLAN: A) Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Permitting Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). B) A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems and paving will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. C) Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. D) Any existing or proposed detention facility shall be maintained as it was constructed and approved. The Land Disturbance Permit application for any proposed construction includes a requirement of a Maintenance and Inspection Plan (signed and notarized by the Owner) for the detention facility. This Plan shall run with the land and be recorded in the County Probate Office prior to the Engineering Department issuing their approval for a Final Certificate of Occupancy. E) The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals. F) The proposed development must comply with all Engineering Department design requirements and Policy Letters.*);
- 11) Placement of a note on the site plan stating Traffic Engineering comments: (*Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. Any required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.*);

- 12) Compliance with Urban Forestry comments: *(Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties [Act 929 of the 1961 Regular Session of the Alabama Legislature (Acts 1961, p. 1487), as amended, and City Code Chapters 57 and 65]. Private removal of trees in the right-of-way will require approval of the Mobile Tree Commission. Removal of heritage trees from undeveloped residential sites, developed residential sites in historic districts, and all commercial sites will require a tree removal permit.);*
- 13) Compliance with Fire Department comments: *(All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Fire apparatus access is required to be within 150' of all commercial and residential buildings. A fire hydrant is required to be within 400' of non-sprinkled commercial buildings and 600' of sprinkled commercial buildings.); and,*
- 14) Provision of a copy of the revised PUD site plan for review by the Planning and Zoning Department prior to the approval of any permits.

LOCATOR MAP



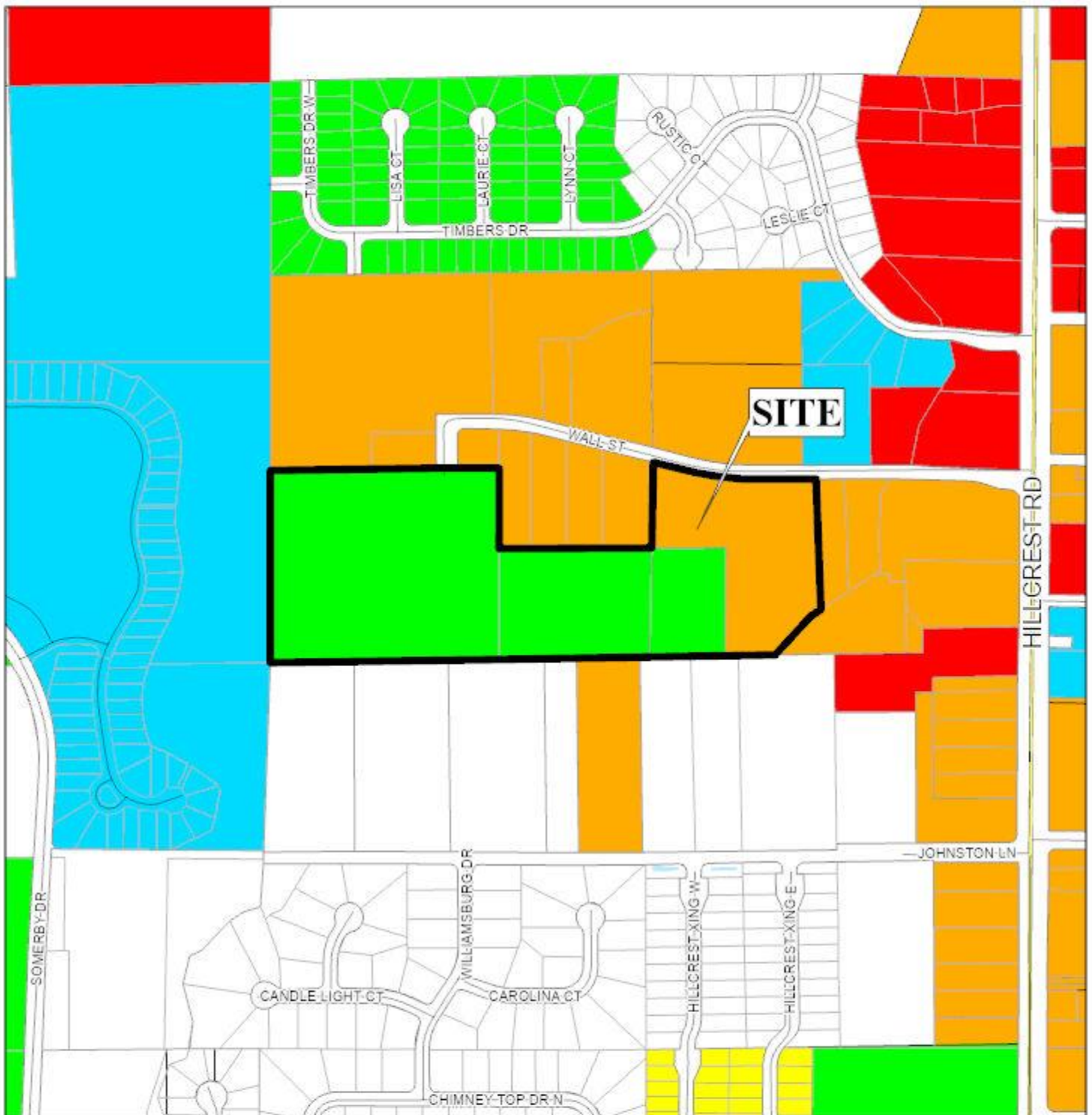
APPLICATION NUMBER 5 DATE June 2, 2022

APPLICANT MACP Timber Ridge Two, LLC

REQUEST Planned Unit Development



LOCATOR ZONING MAP



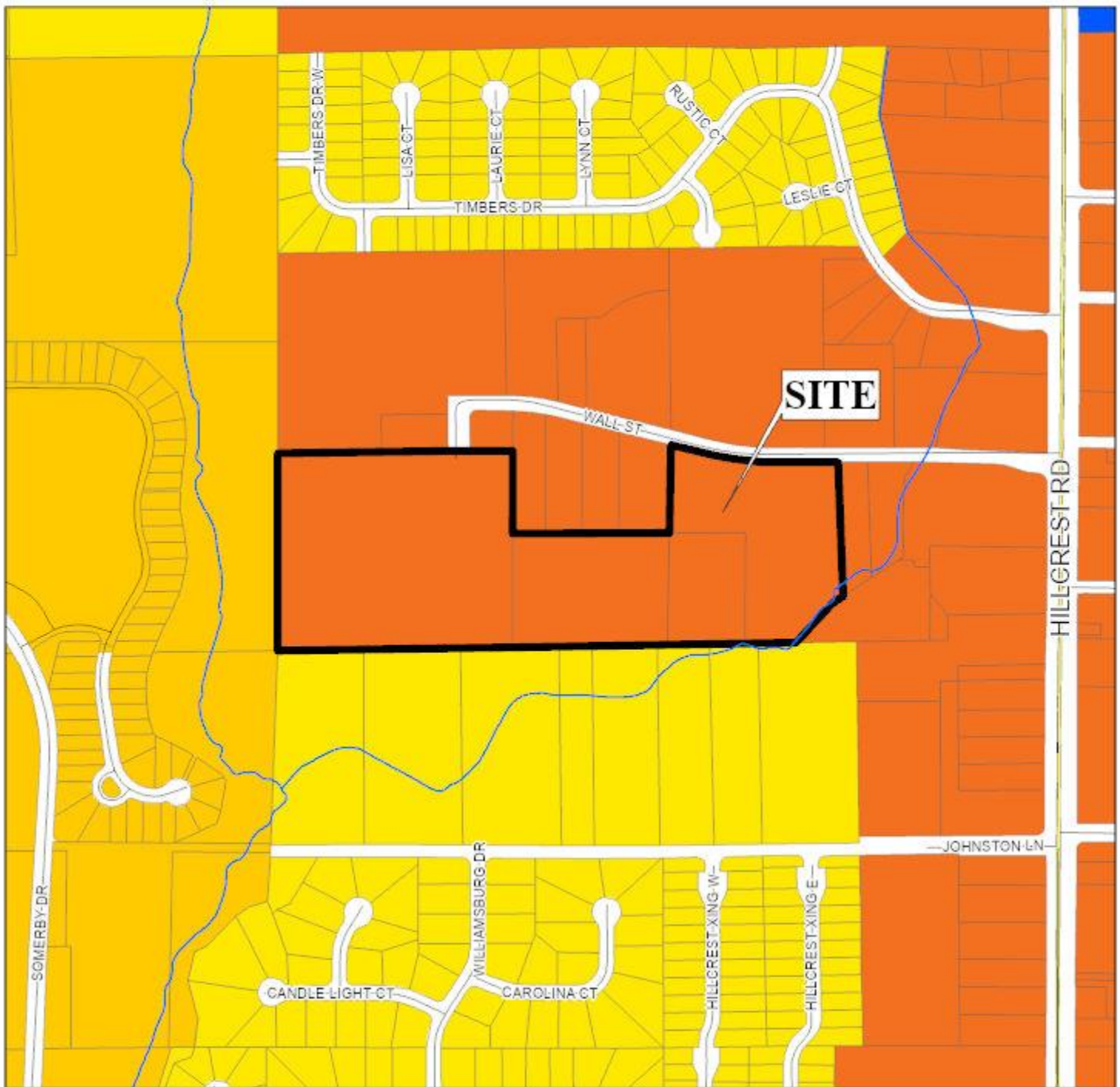
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REQUEST Planned Unit Development



FLUM LOCATOR MAP



APPLICATION NUMBER 5 DATE June 2, 2022

APPLICANT MACP Timber Ridge Two, LLC

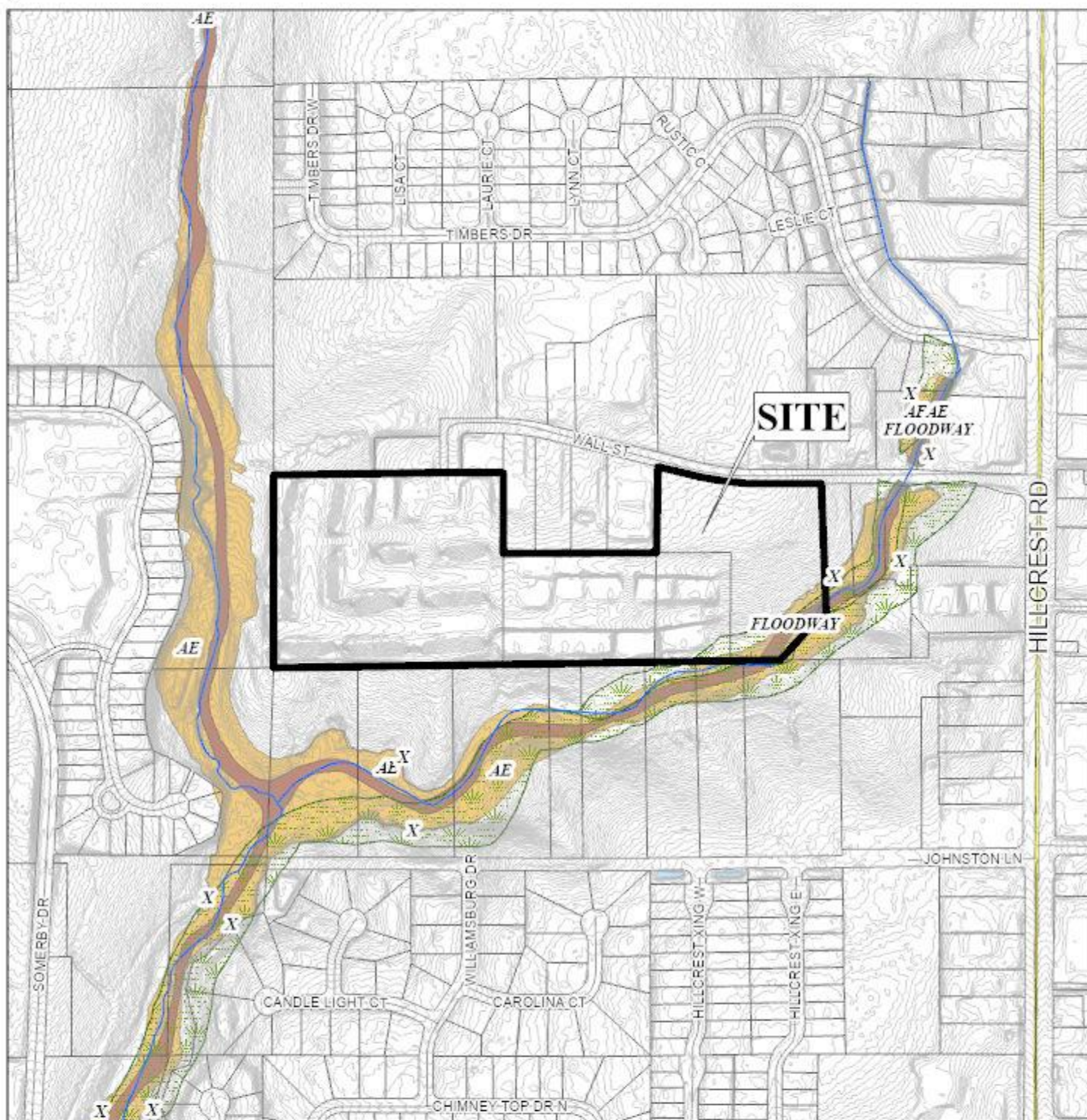
REQUEST Planned Unit Development

Layer2

Low Density Residential	Downtown	Traditional Corridor	Heavy Industry
Mixed Density Residential	District Center	Mixed Commercial Corridor	Institutional
	Neighborhood Center - Traditional	Downtown Waterfront	Parks & Open Space
	Neighborhood Center - Suburban	Light Industry	Water Dependent



ENVIRONMENTAL LOCATOR MAP



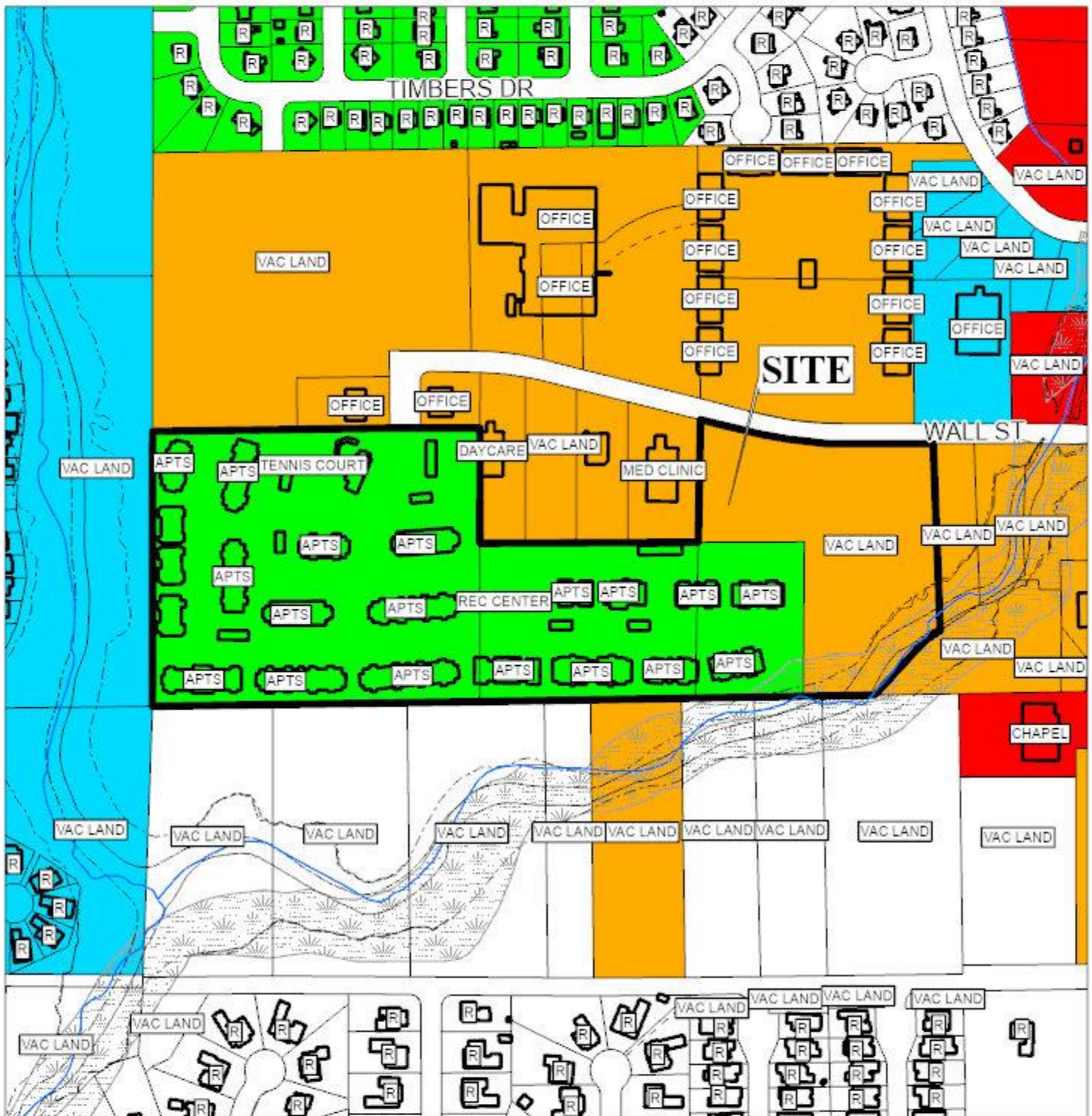
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PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



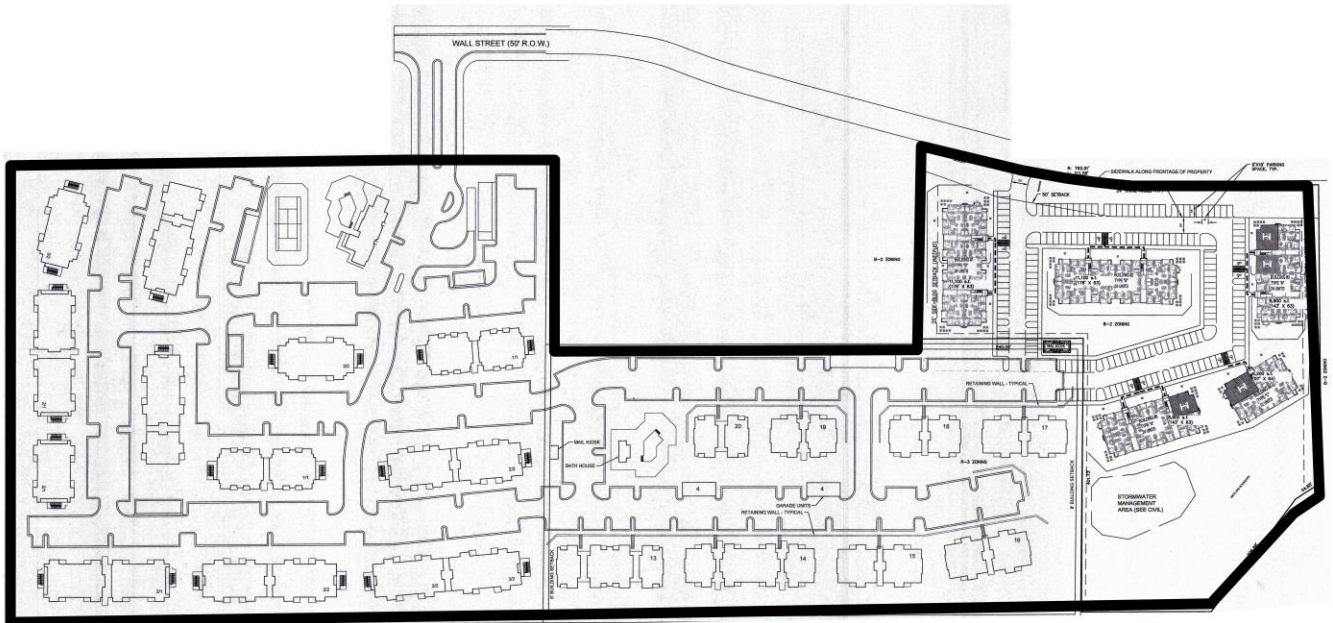
PLANNING COMMISSION VICINITY MAP - EXISTING AERIAL



APPLICATION NUMBER 5 DATE June 2, 2022



SITE PLAN



This site shows the existing and proposed buildings and building setbacks.

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APPLICANT MACP Timber Ridge Two, LLC

REQUEST Planned Unit Development



NTS

