

**SUBDIVISION,
SIDEWALK WAIVER, &
PLANNING APPROVAL STAFF REPORT****Date: September 1, 2022****APPLICANT NAME**

Blue Pines Hideaway Holdings, LLC

SUBDIVISION NAME

Fulton Tract Subdivision

LOCATION1705 Dauphin Island Parkway
(East side of Dauphin Island Parkway, at the West terminus
of Douglas Lane).**CITY COUNCIL
DISTRICT**

Council District 3

PRESENT ZONING

B-3, Community Business District

AREA OF PROPERTY

1 Lot / 4.2± Acres

CONTEMPLATED USESubdivision Approval to create one (1) legal lot of record
from one (1) metes-and-bounds parcel, a Sidewalk Waiver
to waive construction of a sidewalk along Dauphin Island
Parkway, and Planning Approval to allow a transit vehicle
storage facility in a B-3, Community Business District.**TIME SCHEDULE
FOR DEVELOPMENT**

Not provided.

**ENGINEERING
COMMENTS****Subdivision: FINAL PLAT COMMENTS** (should be
addressed prior to submitting the FINAL PLAT for review and/or signature by the City Engineer):

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Provide reference, on the map and the description, to a monumented corner.
- C. Provide and label the monument set or found at each subdivision corner. Each corner should be found or set. If a corner cannot be set then “witness” or “reference” monuments should be set.
- D. Provide a Vicinity Map that is zoomed in closer to the site.
- E. Add legible street names to the vicinity map.

- F. Delete reference to “PARCEL B” and “PARCEL C”. This subdivision request is only for the single LOT (shown as PARCEL A). The adjoining, existing parcels should be listed with the current owner and recording information unless they are part of a recorded subdivision.
- G. Provide a revised written legal description that includes the reference to a monumented corner.
- H. Revise the plat to label the proposed LOT (Parcel A) to either LOT 1 or LOT A.
- I. National Wetlands Inventory (NWI) mapping, as shown on City of Mobile GIS information, indicates that there is potential for wetlands within the property or properties shown on this plat. Show and label the delineated wetlands, or provide a note stating that the wetlands shown on this plat are scaled from the NWI data and have not been delineated.
- J. Provide a note that a 25' riparian buffer may be required, during development, along the edge of anything considered by ADEM to be a water of the state.
- K. Show and label the X(S) flood zone.
- L. Show and label the proposed BFE (Base Flood Elevation) for the proposed LOT. The BFE per the FEMA map is 11'.
- M. Email a pdf copy of the FINAL SUBDIVISION PLAT and LETTER OF DECISION to the Permitting Engineering Dept. for review at land.disturbance@cityofmobile.org prior to obtaining any signatures. No signatures are required on the drawing.

Sidewalk Waiver:

It appears that there is sufficient room within the ROW for the construction of a sidewalk. It would require the crossing of a shallow concrete flume (approx. 5 LF) which would require a thicker sidewalk in that area.

Planning Approval:

1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Permitting Department ((251) 208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).
2. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
3. Any existing or proposed detention facility shall be maintained as it was constructed and approved. The Land Disturbance Permit application for any proposed construction includes a requirement of a Maintenance and Inspection Plan (signed and notarized by the Owner) for the detention facility. This Plan shall run with the land and be recorded in the County Probate Office prior to the Engineering Department issuing their approval for a Final Certificate of Occupancy.
4. The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals.

5. The proposed development must comply with all Engineering Department design requirements and Policy Letters.

TRAFFIC ENGINEERING

COMMENTS

Dauphin Island Parkway (State Highway 163) is an ALDOT maintained roadway. Site is limited to its existing driveway with any changes in size, location, and design to be approved by ALDOT (Dauphin Island Pkwy) and Traffic Engineering and conform to AASHTO standards. Any required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

URBAN FORESTRY

COMMENTS

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64). Private removal of trees in the right-of-way will require approval of the Mobile Tree Commission. Removal of heritage trees from a commercial site will require a tree removal permit.

FIRE DEPARTMENT

COMMENTS

All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Fire apparatus access is required to be within 150' of all commercial and residential buildings. A fire hydrant is required to be within 400' of non-sprinkled commercial buildings and 600' of sprinkled commercial buildings.

REMARKS

The applicant is requesting Subdivision Approval to create one (1) legal lot of record from one (1) metes-and-bounds parcel, a Sidewalk Waiver to waive construction of a sidewalk along Dauphin Island Parkway, and Planning Approval to allow a transit vehicle storage facility in a B-3, Community Business District.

The site has been given a Low Density Residential (LDR) land use designation, per the Future Land Use Plan and Map, adopted on May 18, 2017 by the Planning Commission. The Future Land Use Plan and Map complements and provides additional detail to the Development Framework Maps in the Map for Mobile, adopted by the Planning Commission at its November 5, 2015 meeting.

This designation applies to existing residential neighborhoods found mostly west of the Beltline or immediately adjacent to the east side of the Beltline.

The primary land use in the LDR districts is residential and the predominant housing type is the single-family housing unit, detached or semi-detached, typically placed within a street grid or a network of meandering suburban streets. The density in these districts ranges between 0 and 6 dwelling units per acre (du/ac).

These neighborhoods may also contain small-scale, low-rise multi-unit structures at appropriate locations, as well as complementary retail, parks and civic institutions such as schools, community centers, neighborhood playgrounds, and churches or other religious uses if those uses are designed and sited in a manner compatible with and connected to the surrounding context. The presence of individual ancillary uses should contribute to the fabric of a complete neighborhood, developed at a walkable, bikeable human scale.

It should be noted that the Future Land Use Plan and Map components of the Map for Mobile Plan are meant to serve as a general guide, not a detailed lot and district plan. In many cases the designation of the new Future Land Use Map may match the existing use of land, but in others the designated land use may differ from what is on the ground today. As such, the Future Land Use Plan and Map allows the Planning Commission and the City Council to consider individual cases based on additional information such as the classification request, the surrounding development, the timing of the request, and the appropriateness and compatibility of the proposed use and, where applicable, the zoning classification.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services; and, to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The plat illustrates the site has frontage along Neshota Drive, and a service road for Dauphin Island Parkway, which is a major road on the Major Street Plan, which should have a minimum right-of-way of 100-feet. Although the preliminary plat does not provide the existing right-of-way width, it appears that there is no need for dedication. If approved, the plat should be revised to provide the existing right-of-way width.

The lot exceeds the minimum size requirements for lots served by public water and sanitary sewer, but is only labeled in acres. If approved, the plat should be revised to depict the lot size in both square feet and acres; or, a table with the same information may be placed on the Final Plat, if approved.

The preliminary plat submitted does not depict the 25-foot minimum required setback along Neshota Drive. If approved, the plat should be revised to depict the 25-foot setback along the street frontage.

Regarding access management, a note reflecting Traffic Engineering's comments should be required on the Final Plat and Planning Approval site plans, if approved.

There is a 10-foot utility easement along the front property line, as well as a 30-foot sewer easement at the Northwest portion on the site. If approved, a note should be placed on the Final Plat and Planning Approval site plans stating that no structures are allowed in any easement without the approval of the easement holder.

The review required for Planning Approval examines the applicant's location and site plan with regard to: transportation, parking and access; public utilities and facilities; traffic congestion and hazards; and, to determine if the proposal is in harmony with the orderly and appropriate development of the district.

It is very important to note that the Planning Approval review is site plan-specific and limited to the scope of operations; therefore, any future changes to the site plan or scope of operations, as approved, by current or future applicants, must be submitted for Planning Approval.

Regarding Planning Approval, the site plan illustrates a 2,800 square foot modular office building on the site, with 19 standard parking spaces depicted and a paved area labeled as "transit vehicle parking area". The site is required to have 10 parking spaces.

The applicant states:

DDG, on behalf of our client Blue Pines Hideaway Holdings, LLC, as authorized on the enclosed Affidavit of Ownership by the owners of the subject property, is applying for subdivision and planning approval of certain property located at 1705 Dauphin Island Parkway, Mobile, AL 36605. We further request a waiver from the current sidewalk requirements as explained herein. We have provided further narrative on the requested actions in this letter.

BACKGROUND AND REQUEST

Our client is requesting single-lot subdivision and planning approval for parcel 3204340002003.07 for use of the property by ContainerPort Group as a "transit vehicle storage" facility. ContainerPort Group has been operating at Brookley Field for many years and must relocate due to the current Brookley expansions – an important component of the City of Mobile's growth plan.

The redevelopment of the site will be limited; it is the project's intent to utilize the existing pavement and drainage infrastructure which remains from the previously developed and then razed hotel site. A fence and tree/shrub buffer exist around portions of the property and this project will include providing fencing and screening as shown on the conceptual site plan, consistent with what is required in the zoning district. The tenant intends to construct a temporary modular office building for its temporary operations. It is expected that the site will be utilized in this capacity for a period of approximately three years. The project will apply for and obtain the necessary land disturbance and building permits prior to construction.

The previously developed hotel was constructed and grandfathered under the current ordinance. The redevelopment of the property at this time will drive the use of the property to become code-compliant with the current district regulations. Additionally, the attention and improvements this property receives to facilitate this interim use will improve the condition of the abandoned property and provide a platform to catalyze further redevelopment of the Dauphin Island Parkway corridor in the future.

CONSISTENCY WITH CURRENT ZONING ORDINANCE

The proposed use as a “transit vehicle storage” is consistent with the allowed uses in the B-3: Community Business zoning district subject to the Planning Approval made in this request. The site as proposed (1) has adequate access, water supply, waste disposal, fire and police protection and other necessary public facilities; (2) is not expected to cause undue traffic congestion or create a hazard (as indicated by staff support for the project and due to the tenant’s ability to communicate with all drivers); and (3) is in harmony with the orderly and appropriate development of the district as evidenced elsewhere in this letter and insofar as it positions the area for further enhancement and development in the future.

CONSISTENCY WITH THE MAP FOR MOBILE & FUTURE LAND USE PLAN

The redevelopment of this property for interim use serves to further the City’s goals. Though the Future Land Use map indicates this area as “low density residential,” it is obvious that such a residential use is not consistent with the property’s previous or the adjacent uses. This site’s use for transit vehicle storage is compatible with the adjacent area. In fact, this area of the Brookley Aeroplex between Dauphin Island Parkway and Mobile Bay is identified as a priority investment area in appendix G of the Map for Mobile (future land use plan).

Additionally, the redevelopment proposed is aligned with several of the principle statements in the Map for Mobile:

- *Strategic Infill and Redevelopment – a mix of uses that serve the community, a focus on vacant properties and blighted areas*
 - *This project will serve the community by keeping an existing business intact, further facilitating the Brookley expansion, and repurposing a vacant property.*
- *High-quality design of the build environment with maintenance of existing private property to minimize degradation and blight*
 - *This project will provide maintenance of the existing property and minimize it’s further degradation and blight.*
- *Economic Development – retain existing businesses*
 - *This project will serve the community by keeping an existing business intact and operating in the City of Mobile.*

Further, the site is located immediately adjacent to the industrial development areas outlined in the Map for Mobile and the mid-term action plan calls for businesses such as this to be located near interstates and transit to avoid burdening local roads.

SIDEWALK WAIVER

Based on the proposed temporary development for this interim use of the property, the applicant is requesting a waiver from the sidewalk requirements. The site also has significant challenges to the construction of a sidewalk including steep topography from the edge of the roadway to the property line, a concrete lined drainage channel, utility easements, and a forthcoming sewer project for which the applicant has granted a sewer easement.

The applicant's request is that the waiver be granted at this time on an interim basis and that the need and feasibility of sidewalk construction be reevaluated when the property is redeveloped in the future.

SUPPORTING DOCUMENTATION

To support the evaluation of the project, we have enclosed the following documents with the application:

- 1. Subdivision Plat for the subject parcel.*
- 2. Conceptual Site Plan showing proposed improvements.*
- 3. A letter from the tenant indicating that they have the ability and intent to communicate with their fleet drivers to help mitigate any traffic concerns of the staff or City constituency.*
- 4. An owner's authorization for the requested actions.*
- 5. City of Mobile Street Ticket for the subject property.*
- 6. Annotated survey plat noting challenges to sidewalk construction.*

In summary, the proposed redevelopment is consistent with the ordinances in effect and will improve a vacant property. The interim use has provided a unique opportunity for development of the property in a way which positions it well for further and refined redevelopment in the future.

We appreciate the Planning Commission's and City's continued assistance with this important development effort and stand ready to respond to any questions which may arise.

The site plan depicts an existing 15-foot vegetative buffer to remain along the Eastern property line, where the property abuts an R-1, Single-Family Residential District, which is developed as a cemetery. If approved, this should be retained on the site plan.

The site plan submitted depicts an existing chain link fence with barbed wire at the East property line, with the fence proposed to be extended so that it encompasses the majority of the subject site. If approved, the site plan should be revised to state the height of the proposed chain link fence shall not exceed 8-feet. It should be noted that there is a gate access to the site, with the gate setback approximately 37.7±-feet from the property line, and not 60-feet as required by the Zoning Ordinance. If approved, either a note should be placed on the site plan stating that the gate will be electrically operated, that the gate will be open during hours of operations, or will need to be relocated to be a minimum of 60-feet from the property line.

No tree planting or landscaping area information is provided on the site plan submitted. The site was previously developed with a hotel, which was demolished in 2006, with permits. As the site is proposed to be re-developed, full compliance with tree planting and landscape area is required. It appears that the site will not have sufficient front landscape area or sufficient landscape area to plant frontage trees, as proposed. If approved, the site plan should be revised to illustrate full compliance with landscaping and tree requirements. Tree plantings should be coordinated with staff to insure the trees have sufficient room to grow and thrive.

The site plan identifies a large area as "existing crushed concrete and shell building foundation". As this is not an allowable surfacing for vehicular parking and maneuvering, the site pan should

be revised to either depict that area as being paved with asphalt or concrete, or curbing or bumper stops should be provided to prevent vehicles on the property from utilizing that portion of the site.

There is no dumpster depicted on the proposed site plan. As such, the site plan should be revised to either depict a dumpster with compliant sanitary sewer connection and enclosure, or provide a note stating that curbside pickup will be utilized.

It should be noted that the Mobile City Council adopted a “complete streets” policy on May 31, 2011. The purpose of the complete streets policy is to support the design and construction of streets to enable safe access to all users, including pedestrians, bicyclists, transit riders, motorists, commercial and emergency vehicles, and for people of all ages and abilities.

The applicant states that the sidewalk waiver requested is because the proposed use will only occupy the site for approximately three (3) years. However, the requirement that a sidewalk be provided in conjunction with the development of the site is not contingent upon the length of time a business intends to occupy the site, but rather physical limitations and restriction of the site itself which would make the provision of a sidewalk undesirable. Engineering comments state that there is sufficient room in the right-of-way for a sidewalk, but that it will require the crossing of a shallow concrete flume (approx. 5 LF) which would require a thicker sidewalk in that area.

Furthermore, there is a multi-family residential development to the North of the site, and an existing convenience store to the South of the site. Residents may walk to the convenience store, thus making the provision of a sidewalk necessary and desirable.

RECOMMENDATION

Subdivision: The application is recommended for Tentative Approval, subject to the following conditions:

- 1) Revision of the plat to illustrate the existing right-of-way along Dauphin Island Parkway;
- 2) Revision of the plat to provide the lot size in square feet and acres on the Final Plat, or provision of a table on the Final Plat with the same information;
- 3) Revision of the plat to illustrate the 25-foot minimum building setback line along Dauphin Island Parkway;
- 4) Placement of a note on the plat to state that no structures are allowed in any easement without the approval of the easement holder;
- 5) Compliance with Engineering comments: (*FINAL PLAT COMMENTS* (should be addressed prior to submitting the FINAL PLAT for review and/or signature by the City Engineer): A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. B. Provide reference, on the map and the description, to a monumented corner. C. Provide and label the monument set or found at each subdivision corner. Each corner should be found or set. If a corner cannot be set then “witness” or “reference” monuments should be set. D.

Provide a Vicinity Map that is zoomed in closer to the site. E. Add legible street names to the vicinity map. F. Delete reference to "PARCEL B" and "PARCEL C". This subdivision request is only for the single LOT (shown as PARCEL A). The adjoining, existing parcels should be listed with the current owner and recording information unless they are part of a recorded subdivision. G. Provide a revised written legal description that includes the reference to a monumented corner. H. Revise the plat to label the proposed LOT (Parcel A) to either LOT 1 or LOT A. I. National Wetlands Inventory (NWI) mapping, as shown on City of Mobile GIS information, indicates that there is potential for wetlands within the property or properties shown on this plat. Show and label the delineated wetlands, or provide a note stating that the wetlands shown on this plat are scaled from the NWI data and have not been delineated. J. Provide a note that a 25' riparian buffer may be required, during development, along the edge of anything considered by ADEM to be a water of the state. K. Show and label the X(S) flood zone. L. Show and label the proposed BFE (Base Flood Elevation) for the proposed LOT. The BFE per the FEMA map is 11'. M. Email a pdf copy of the FINAL SUBDIVISION PLAT and LETTER OF DECISION to the Permitting Engineering Dept. for review at land.disturbance@cityofmobile.org prior to obtaining any signatures. No signatures are required on the drawing.);

- 6) *Placement of a note on the revised plat stating Traffic Engineering comments: (Dauphin Island Parkway (State Highway 163) is an ALDOT maintained roadway. Site is limited to its existing driveway with any changes in size, location, and design to be approved by ALDOT (Dauphin Island Pkwy) and Traffic Engineering and conform to AASHTO standards. Any required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
- 7) *Compliance with Urban Forestry comments: (Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64). Private removal of trees in the right-of-way will require approval of the Mobile Tree Commission. Removal of heritage trees from a commercial site will require a tree removal permit.);*
- 8) *Compliance with Fire Department comments: (All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Fire apparatus access is required to be within 150' of all commercial and residential buildings. A fire hydrant is required to be within 400' of non-sprinkled commercial buildings and 600' of sprinkled commercial buildings.); and,*
- 9) *Full compliance with all other municipal codes and ordinances.*

Sidewalk Waiver: Based on the preceding, the sidewalk waiver is recommended for denial.

Planning Approval: Staff recommends to the Planning Commission the following Findings of Fact for Approval of the Planning Approval:

- a. the proposal will be appropriate with regard to transportation and access, water supply, waste disposal, fire and police protection, and other public facilities, because sufficient services exist in the area currently;

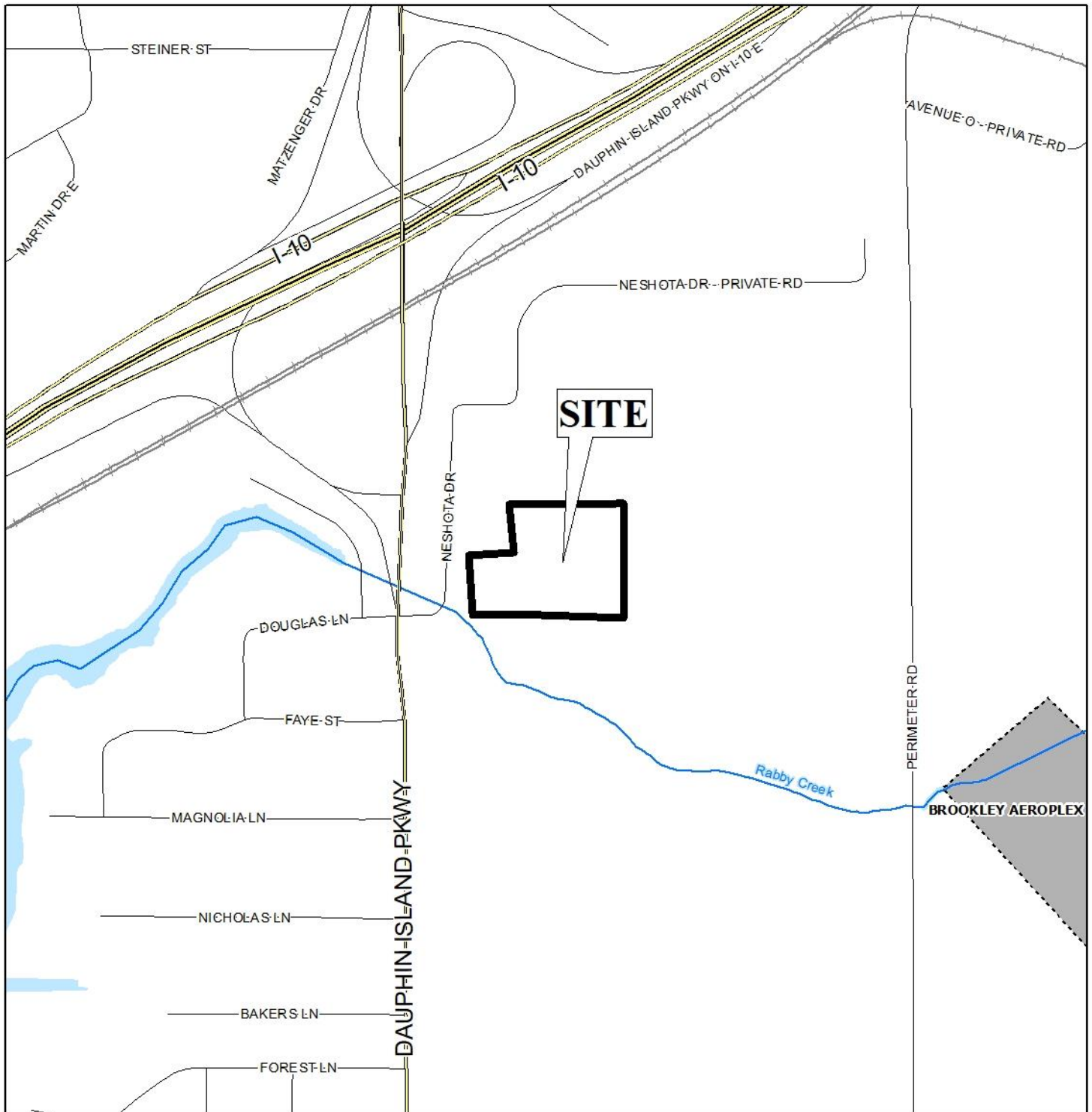
- b. the proposal will not cause undue traffic congestion or create a traffic hazard, because the site is located on a major street, with existing commercial development surrounding it; and
- c. the proposal will be in harmony with the orderly and appropriate development of the district in which the use is located, because the site was previously developed with a hotel, and the surrounding properties are commercially developed.

The approval should be subject to the following conditions:

- 1) Revision of the site plan to illustrate the existing right-of-way along Dauphin Island Parkway;
- 2) Revision of the site plan to provide the lot size in square feet and acres, or provision of a table on the site plan with the same information;
- 3) Revision of the site plan to illustrate the 25-foot minimum building setback line along Dauphin Island Parkway;
- 4) Placement of a note on the site plan to state that no structures are allowed in any easement without the approval of the easement holder;
- 5) Revision of the site plan to include the height of the proposed chain link fence (not to exceed 8-feet high);
- 6) Revision of the site plan to either place a note stating that the gate will be electrically operated, that the gate will be open during hours of operations, or will need to be relocated to be a minimum of 60-feet from the property line;
- 7) Revision of the site plan to depict full compliance with tree planting and landscape area requirements;
- 8) Revision of the site plan to depict either bumper stops or curbing to prevent vehicles from utilizing the “existing crushed concrete and shell building foundation” as parking or maneuvering space or paving said area with compliant materials;
- 9) Revision of the site plan to depict a sidewalk along Dauphin Island Parkway;
- 10) Revision of the site plan to either depict a dumpster with compliant sanitary sewer connection and enclosure, or provide a note stating that curbside pickup will be utilized;
- 11) Compliance with Engineering comments: *(1) Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Permitting Department ((251) 208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 2) Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. 3) Any existing or proposed detention facility shall be maintained as it was constructed and approved. The Land Disturbance Permit application for any proposed construction includes a requirement of a Maintenance and Inspection Plan (signed and notarized by the Owner) for the detention facility. This Plan shall run with the land and be recorded in the County Probate Office prior to the Engineering Department issuing their approval for a Final Certificate of Occupancy. 4) The approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land*

- Disturbance permit. The Owner/Developer is responsible for acquiring all of the necessary permits and approvals. 5) The proposed development must comply with all Engineering Department design requirements and Policy Letters.);*
- 12) Placement of a note on the revised plat stating Traffic Engineering comments: *(Dauphin Island Parkway (State Highway 163) is an ALDOT maintained roadway. Site is limited to its existing driveway with any changes in size, location, and design to be approved by ALDOT (Dauphin Island Pkwy) and Traffic Engineering and conform to AASHTO standards. Any required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
- 13) Compliance with Urban Forestry comments: *(Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64). Private removal of trees in the right-of-way will require approval of the Mobile Tree Commission. Removal of heritage trees from a commercial site will require a tree removal permit.);*
- 14) Compliance with Fire Department comments: *(All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Fire apparatus access is required to be within 150' of all commercial and residential buildings. A fire hydrant is required to be within 400' of non-sprinkled commercial buildings and 600' of sprinkled commercial buildings.);*
- 15) Completion of the subdivision process prior to the approval of any land disturbing or building activities;
- 16) Provision of two (2) revised Planning Approval site plans (.pdf and hard copy) to the Planning & Zoning Department prior to signing of the Final Plat; and,
- 17) Compliance with all other municipal codes and ordinances.

LOCATOR MAP



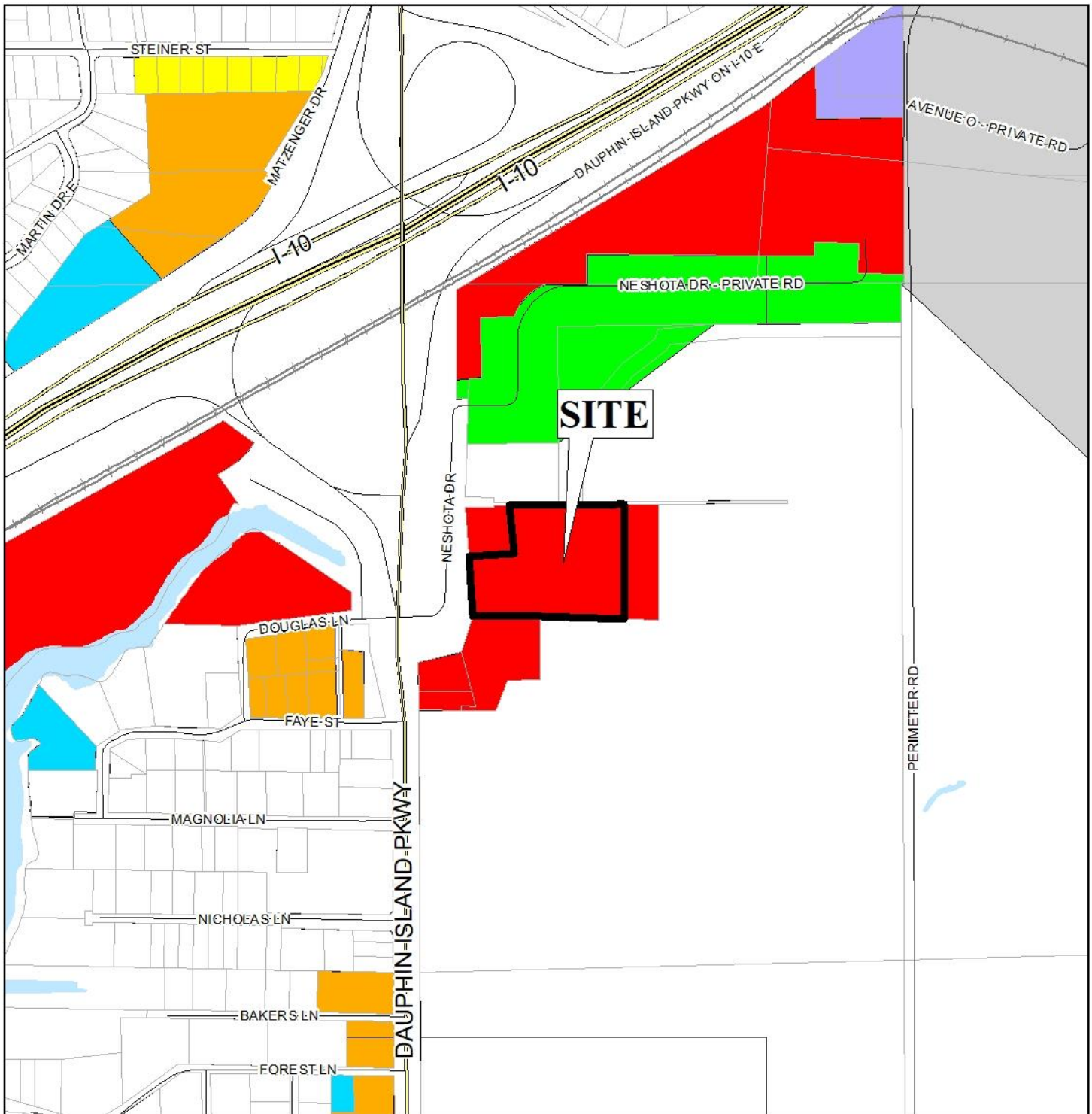
APPLICATION NUMBER 5 DATE September 1, 2022

APPLICANT Fulton Tract Subdivision

REQUEST Subdivision, Sidewalk Waiver, Planning Approval



LOCATOR ZONING MAP



APPLICATION NUMBER 5 DATE September 1, 2022

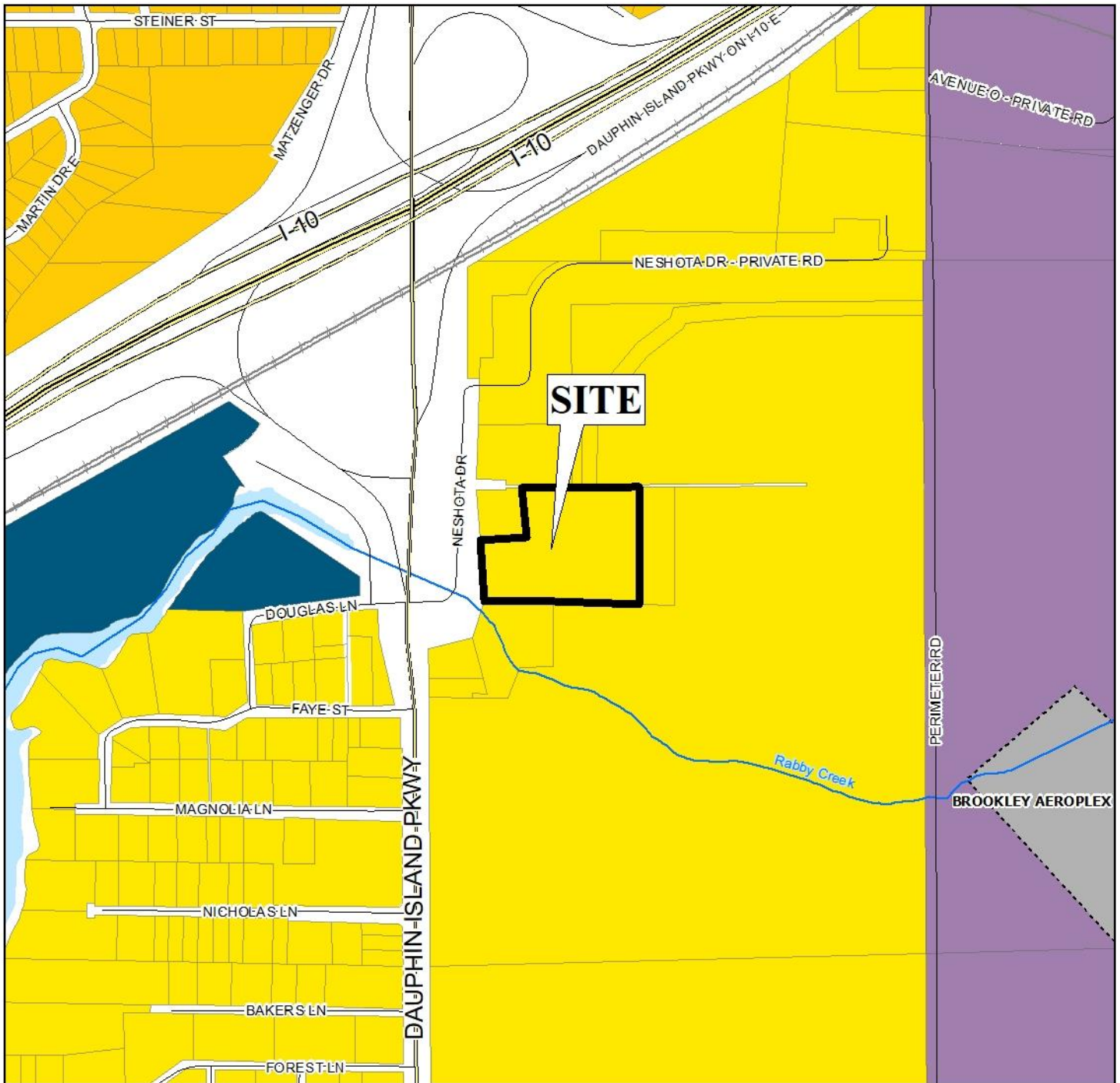
APPLICANT Fulton Tract Subdivision

REQUEST Subdivision, Sidewalk Waiver, Planning Approval



NTS

FLUM LOCATOR MAP



APPLICATION NUMBER 5 DATE September 1, 2022

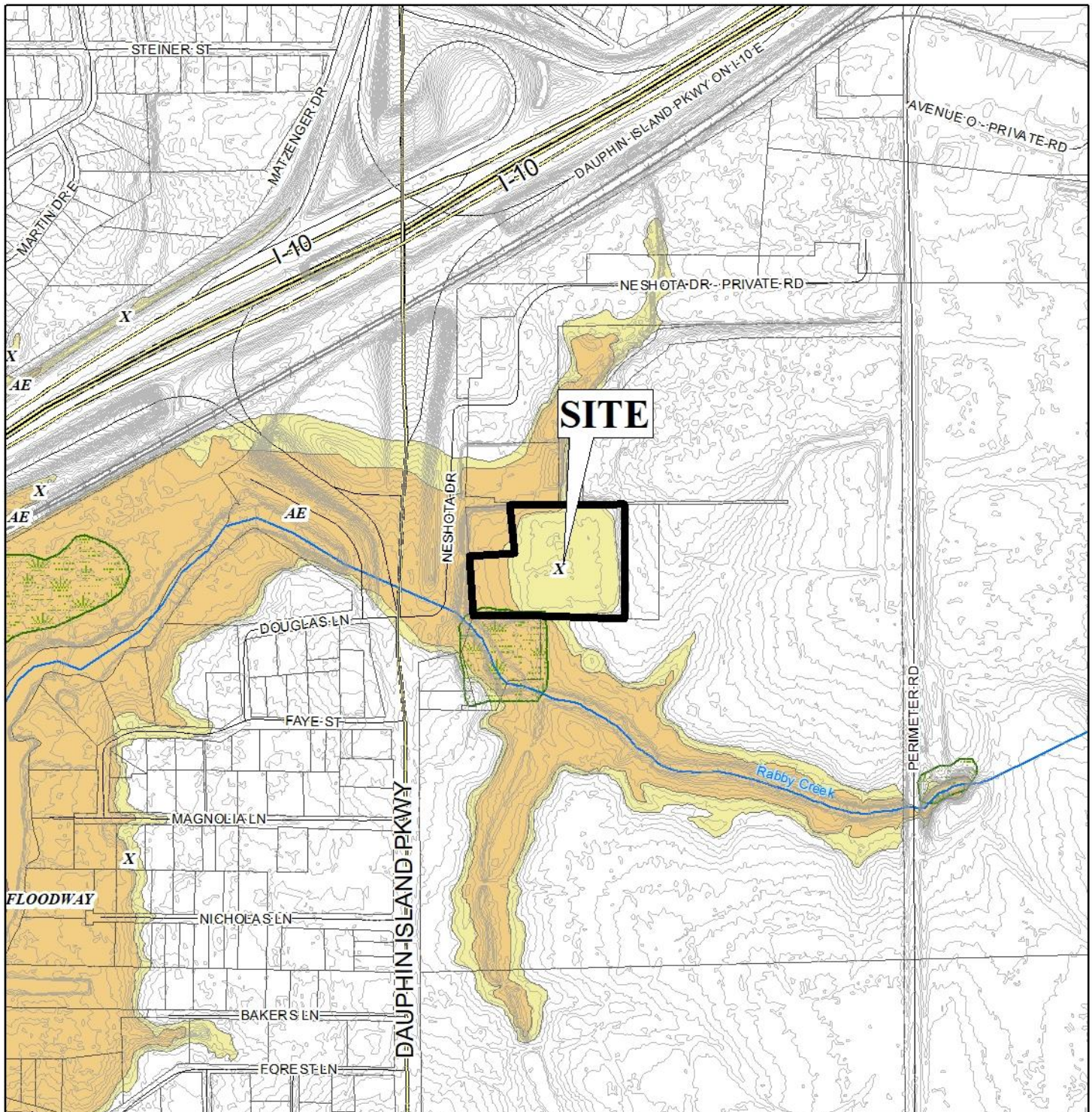
APPLICANT Fulton Tract Subdivision

REQUEST Subdivision, Sidewalk Waiver, Planning Approval

Low Density Residential	Neighborhood Center - Traditional	Downtown Waterfront	Parks & Open Space
Mixed Density Residential	Neighborhood Center - Suburban	Light Industry	Water Dependent
Downtown	Traditional Corridor	Heavy Industry	
District Center	Mixed Commercial Corridor	Institutional	



ENVIRONMENTAL LOCATOR MAP



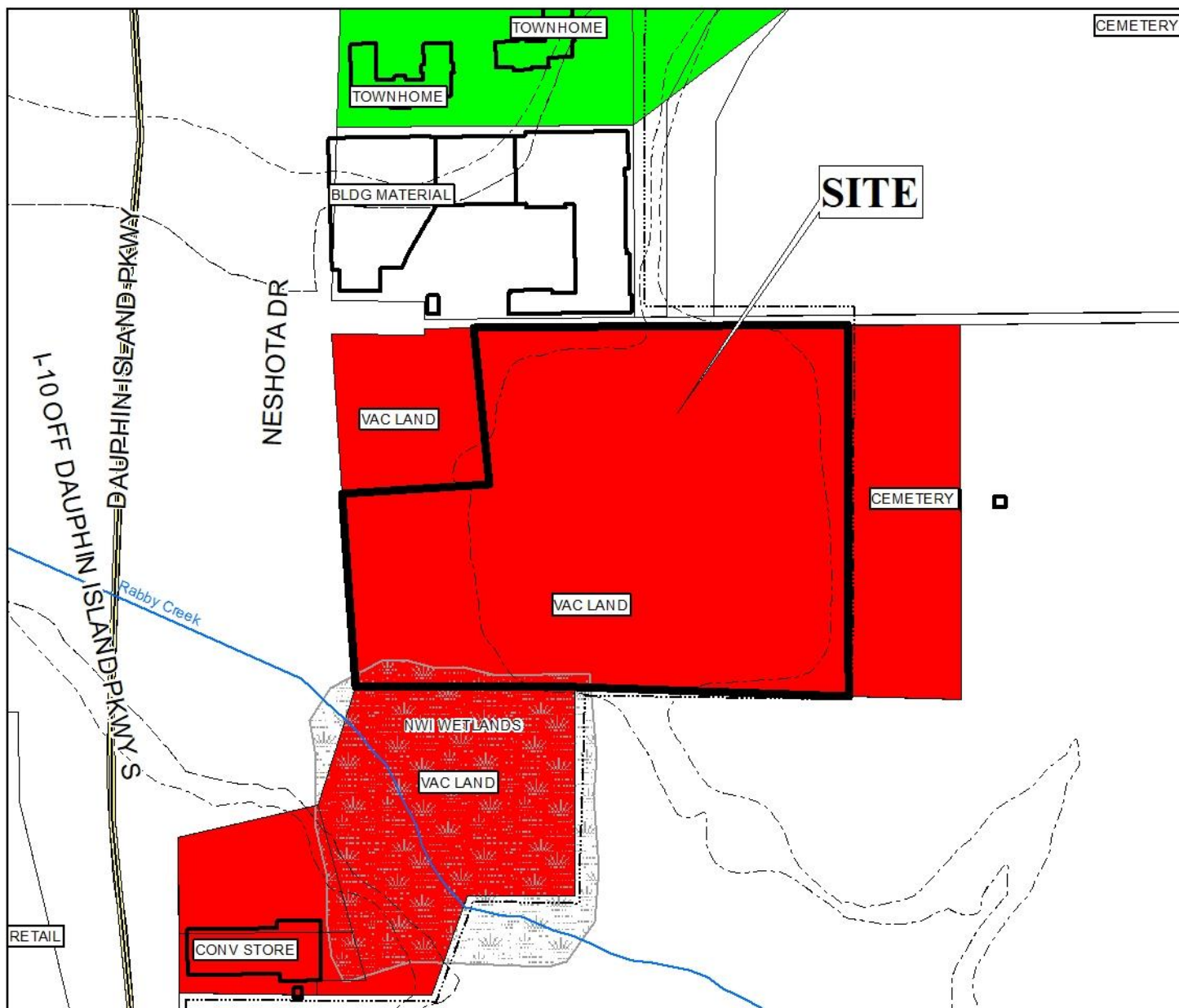
APPLICATION NUMBER 5 DATE September 1, 2022

APPLICANT Fulton Tract Subdivision

REQUEST Subdivision, Sidewalk Waiver, Planning Approval



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



The site is surrounded by commercial units.

APPLICATION NUMBER 5 DATE September 1, 2022

APPLICANT Fulton Tract Subdivision

REQUEST Subdivision, Sidewalk Waiver, Planning Approval

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



PLANNING COMMISSION

VICINITY MAP - EXISTING AERIAL



The site is surrounded by commercial units.

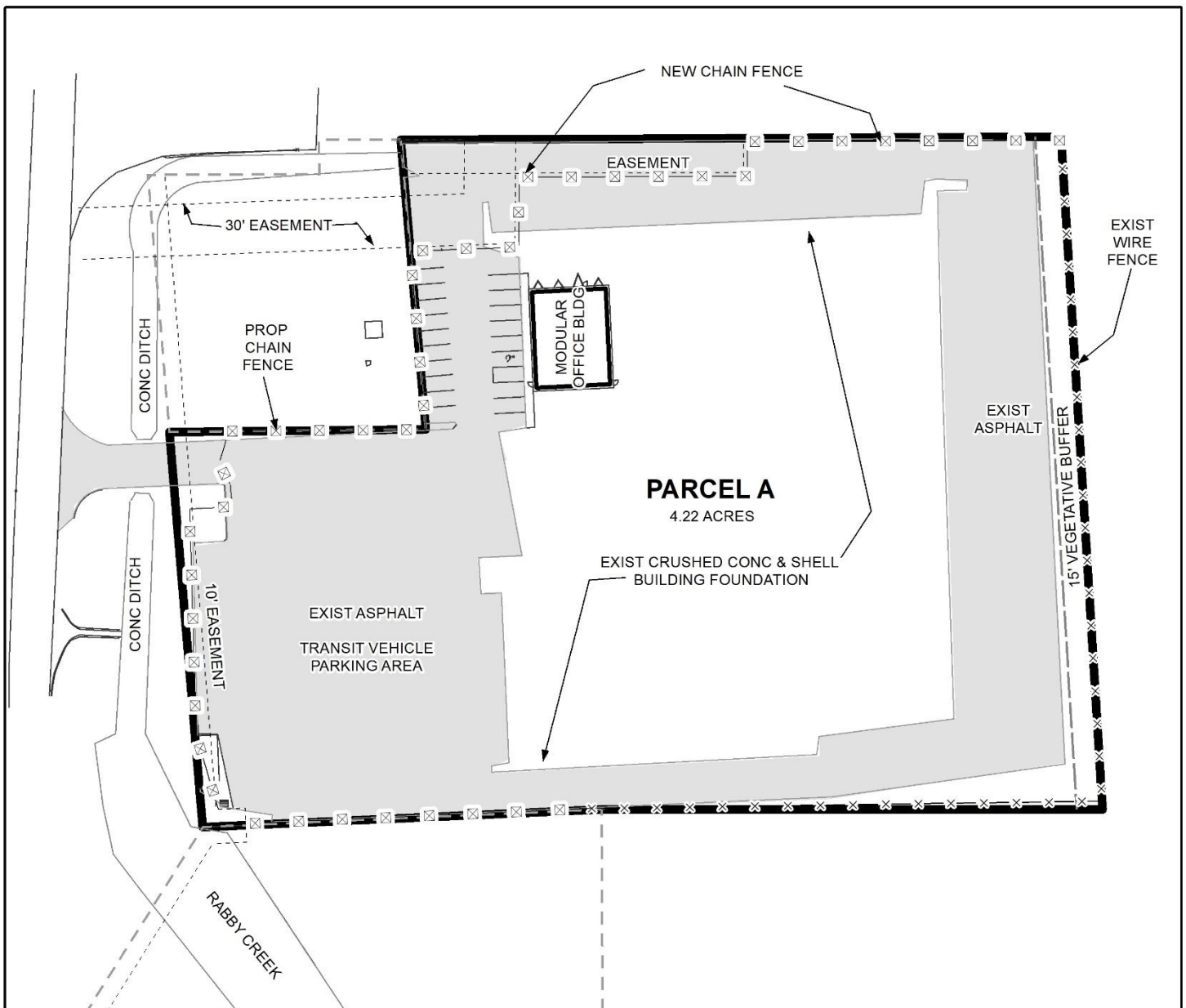
APPLICATION NUMBER 5 DATE September 1, 2022

APPLICANT Fulton Tract Subdivision

REQUEST Subdivision, Sidewalk Waiver, Planning Approval



SITE PLAN



The site plan illustrates the existing asphalt, proposed building, parking, and easements.

APPLICATION NUMBER 5 DATE September 1, 2022

APPLICANT Fulton Tract Subdivision

REQUEST Subdivision, Sidewalk Waiver, Planning Approval

