

## **FORT HARDEMAN SUBDIVISION**

Engineering Comments: FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for review and/or signature by the City Engineer):

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Provide the Surveyor's and Owner's (notarized) signatures.
- C. Add a note that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- D. Add a note that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- E. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved.
- F. Add a note that all existing and proposed detention facilities, common areas, and wetlands shall be the responsibility of the Property Owner(s), and not the responsibility of the City of Mobile.
- G. Add a note that all easements shall remain in effect until vacated through the proper Vacation process.
- H. Email a pdf copy of the FINAL SUBDIVISION PLAT and LETTER OF DECISION to the Permitting Engineering Dept. for review at [land.disturbance@cityofmobile.org](mailto:land.disturbance@cityofmobile.org) prior to obtaining any signatures. No signatures are required on the drawing.
- I. After addressing all of the FINAL SUBDIVISION PLAT review comments provide the ORIGINAL (with all signatures except for the Planning Commission, Traffic Engineering, and City Engineer), one (1) copy, and a transmittal letter to the Engineering Permitting Department. They can be dropped off at 205 Government St. or mailed to PO Box 1827, Mobile, AL, 36633.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. Required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties [Act 929 of the 1961 Regular Session of the Alabama Legislature (Acts 1961, p. 1487), as amended, and City Code Chapters 57 and 65]. Private removal of trees in the right-of-way will require approval of the Mobile Tree Commission. Removal of heritage trees from undeveloped residential sites, developed residential sites in historic districts, and all commercial sites will require a tree removal permit.

Fire Department Comments: All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Fire apparatus access is required to be within 150' of all commercial and residential buildings. A fire hydrant is required to be within 400' of non-sprinkled commercial buildings and 600' of sprinkled commercial buildings.

The plat illustrates the proposed 3-lot, 6.1± acre subdivision which is located on the Northwest corner of North McGregor Avenue and Museum Drive, in Council District 7. The purpose of this application is to create three (3) legal lots of record from two (2) metes-and-bounds parcels. The applicant states the site is served by public water and sewer.

The site has been given an Institutional (INS) land use designation, per the Future Land Use Plan and Map, adopted on May 18, 2017 by the Planning Commission. The Future Land Use Plan and Map complements and provides additional detail to the Development Framework Maps in the Map for Mobile, adopted by the Planning Commission at its November 5, 2015 meeting.

This designation includes land and buildings occupied by municipal and other governmental agencies for the exercise of their functions, to serve the public or provide a civic use or amenity. These include major libraries, airports, public schools and public safety facilities, but exclude parks and public open space which are identified under a separate land use classification (see below). Semi-public uses such as grammar and high schools, colleges and universities, hospitals, and other major institutions that serve the public and/or operate in a public function are included. Parks and public open space are not included but have their own land use classification.

Note: Small-scale properties (less than 2 acres) accommodating subsidiary public and semi-public facilities, such as branch libraries, substations, satellite clinics, etc., may not be specifically called out in the FLUM under this land use designation, but may instead be considered part of the array of integrated complementary uses typically found in a residential neighborhood or a mixed-use center or corridor. The specific location and design of these complementary uses is subject to zoning.

It should be noted that the Future Land Use Plan and Map components of the Map for Mobile Plan are meant to serve as a general guide, not a detailed lot and district plan. In many cases the designation on the new Future Land Use Map may match the existing use of land, but in others the designated land use may differ from what is on the ground today. As such, the Future Land Use Plan and Map allows the Planning Commission and City Council to consider individual cases based on additional information such as the classification request, the surrounding development, the timing of the request, and the appropriateness and compatibility of the proposed use and, where applicable, the zoning classification.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The applicant states:

*This subdivision is being proposed for the City of Mobile property located at the northwest corner of McGregor Avenue and Museum Drive in order to define a new common property line between the newly constructed Fire Station site and the previously existing armory facility. The details of this application are shown on the application drawing and are very straightforward. One item worth noting is that the proposed small Lot 3 located in the northeast corner of the site is being created to coincide with property that has been leased by the City of Mobile to the owner of the adjacent property to the north for use as a future parking area.*

The lots front North McGregor Avenue, a minor arterial street, per the Major Street Plan, and Museum Drive, a minor street without curb and gutter, and therefore should have a 60' wide right-of-way. The right-of-way along North McGregor Avenue is depicted as varying, therefore, if approved the site plan should be revised to depict the minimum existing right-of-way. Museum Drive is shown to have an existing 80' right-of-way, therefore dedication should not be required. Dedication of the corner radii at the intersection of North McGregor Avenue and Museum Drive is depicted on the preliminary plat, and should be retained on the Final Plat, if approved.

In regards to access management, a note should be placed on the Final Plat stating Traffic Engineering comments, if approved.

As noted in the narrative submitted by the applicant, the proposed Lot 3 is to be leased to the property owner to the North for utilization as parking. If that is the case, either an Administrative Planned Unit Development or a Special Parking Plan will be required prior to permits for improvements being issued.

The proposed lots sizes are provided in square feet and acres on the preliminary plat. It should be noted that the proposed Lot 3 is sub-standard in width (20-feet), sub-standard in size (2,951± square feet), and exceeds the maximum width-to-depth ratio. As mentioned, Lot 3 being used for a leased parking area for the adjacent lot to the North, therefore a waiver of Sections V.D.2. and V.D.3. of the Subdivision Regulations may be appropriate. If approved, this information should be retained on the Final Plat.

The 25-foot minimum building setback is illustrated for Lots 1 and 2 on the preliminary plat, but not Lot 3. If approved, revision of the Final Plat to illustrate the 25-foot minimum building setback line along street frontages, for all lots, should be required.

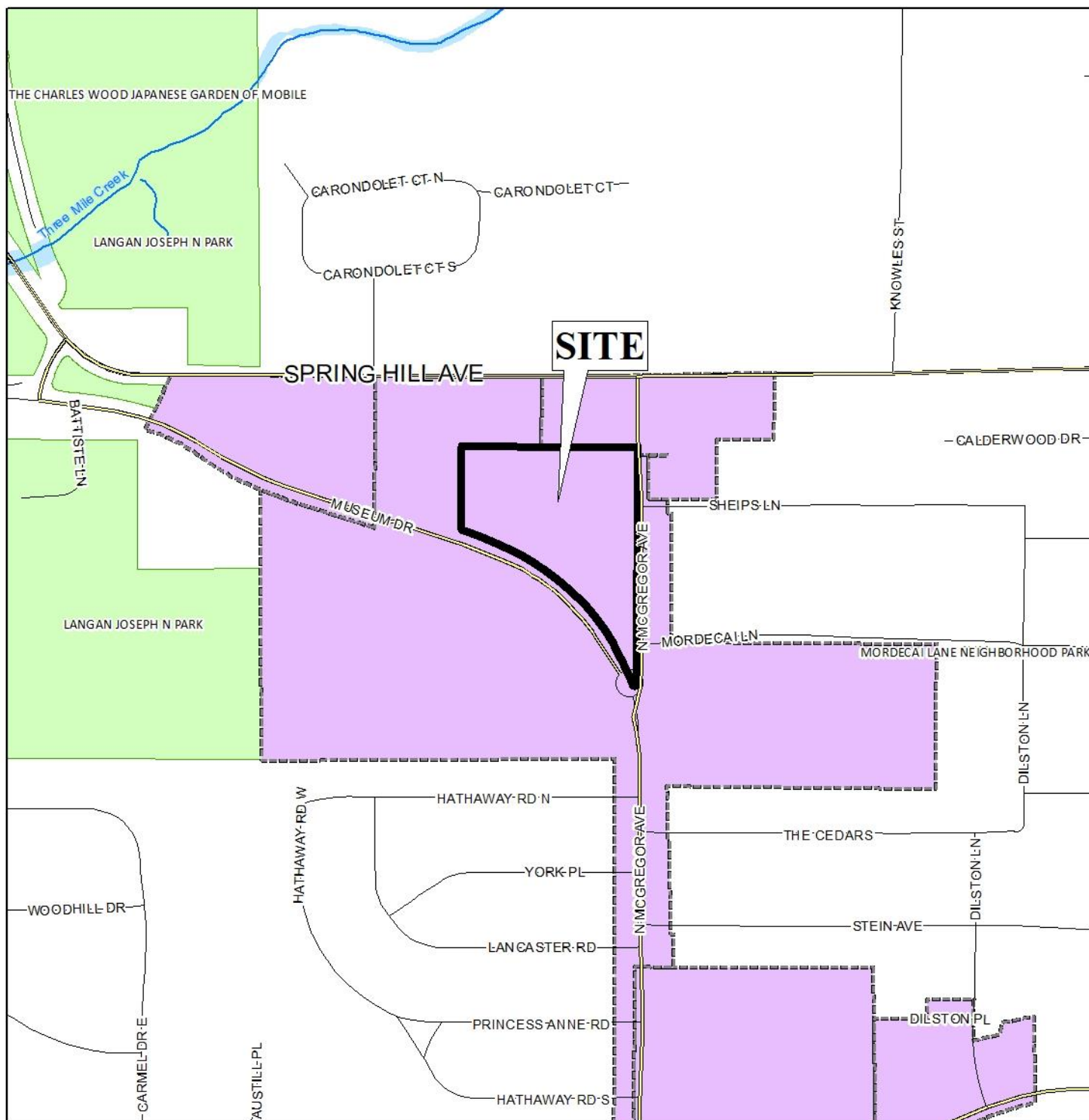
No easements are indicated on the preliminary plat. If any easements are recorded on the site they should be indicated and labeled on the Final Plat, and a note should be placed on the Final Plat stating that no structure may be placed or constructed within any easement without permission of the easement holder.

Based on the preceding, with waivers of Sections V.D.2. and V.D.3. of the Subdivision Regulations, this application is recommended for Tentative Approval subject to the following conditions:

- 1) Depiction of the 25-foot minimum building setback line along all lots;
- 2) Revision of the Final Plat to depict the currently existing minimum right-of-way for North McGregor Avenue;
- 3) Retention of the lot size in both square feet and acres, or the furnishing of a table on the Final Plat providing the same information;
- 4) Placement of a note on the Final Plat stating that no structure may be constructed or placed within any easement without the permission of the easement holder, if applicable;
- 5) Compliance with the Engineering comments: *(FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for review and/or signature by the City Engineer): A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. B. Provide the Surveyor's and Owner's (notarized) signatures. C. Add a note that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. D. Add a note that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. E. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved. F. Add a note that all existing and proposed detention facilities, common areas, and wetlands shall be the responsibility of the Property Owner(s), and not the responsibility of the City of Mobile. G. Add a note that all easements shall remain in effect until vacated through the proper Vacation process. H. Email a pdf copy of the FINAL SUBDIVISION PLAT and LETTER OF DECISION to the Permitting Engineering Dept. for review at [land.disturbance@cityofmobile.org](mailto:land.disturbance@cityofmobile.org) prior to obtaining any signatures. No signatures are required on the drawing. I. After addressing all of the FINAL SUBDIVISION PLAT review comments provide the ORIGINAL (with all signatures except for the Planning Commission, Traffic Engineering, and City Engineer), one (1) copy, and a transmittal letter to the Engineering Permitting Department. They can be dropped off at 205 Government St. or mailed to PO Box 1827, Mobile, AL, 36633.);*
- 6) Placement of a note on the Final Plat stating the Traffic Engineering comments: *(Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. Required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
- 7) Compliance with the Urban Forestry comments: *(Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties [Act 929 of the 1961 Regular Session of the Alabama Legislature (Acts 1961, p. 1487), as amended, and City Code Chapters 57 and 65]. Private removal of trees in the right-of-way will require approval of the Mobile Tree Commission. Removal of heritage trees from undeveloped residential sites, developed residential sites in historic districts, and all commercial sites will require a tree removal permit.); and*
- 8) Compliance with the Fire Department comments: *All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance*

*(2012 International Fire Code). Fire apparatus access is required to be within 150' of all commercial and residential buildings. A fire hydrant is required to be within 400' of non-sprinkled commercial buildings and 600' of sprinkled commercial buildings.).*

# LOCATOR MAP



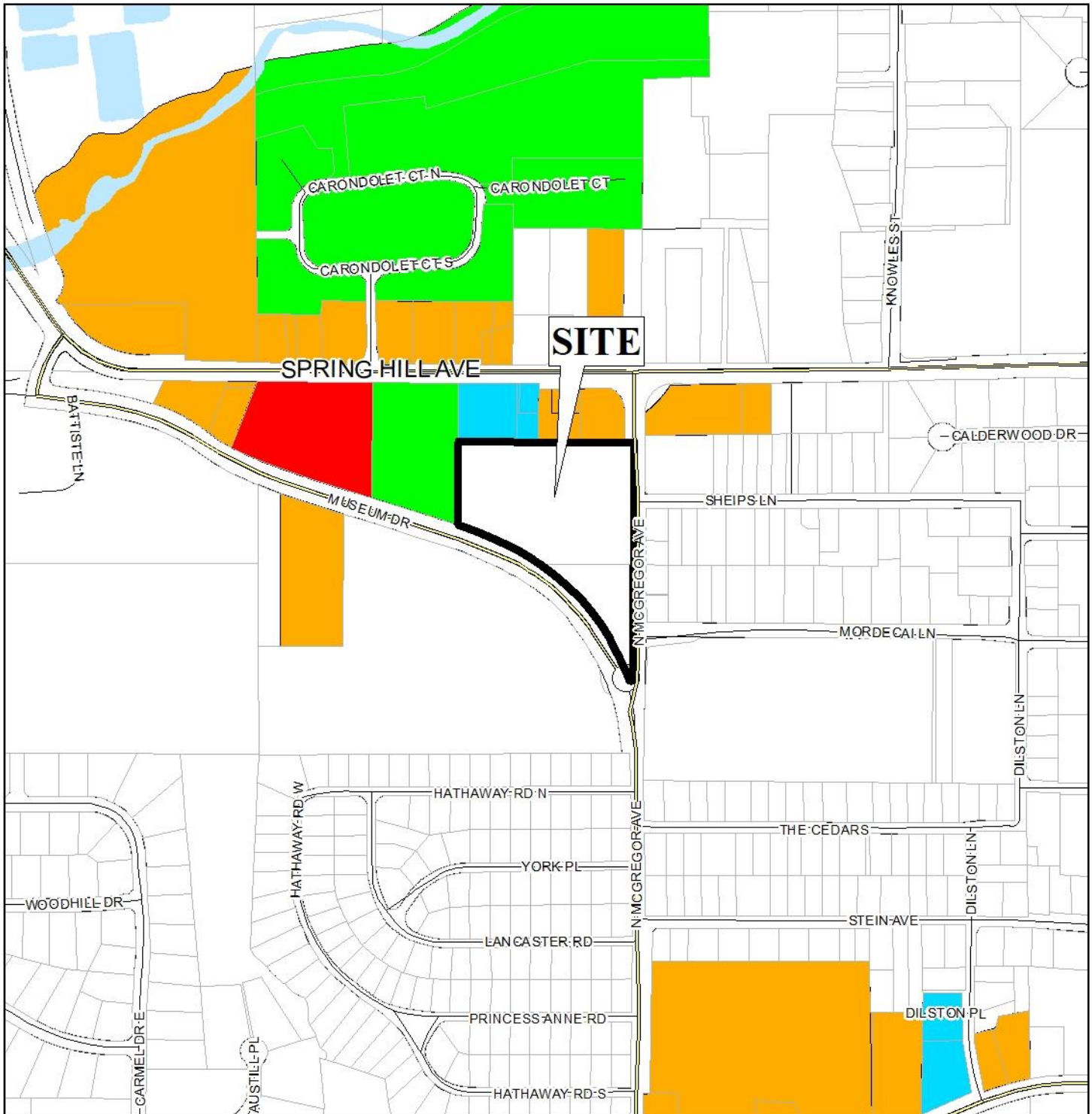
APPLICATION NUMBER 5 DATE May 20, 2021

APPLICANT Fort Hardeman Subdivision

REQUEST Subdivision



# LOCATOR ZONING MAP



APPLICATION NUMBER 5 DATE May 20, 2021

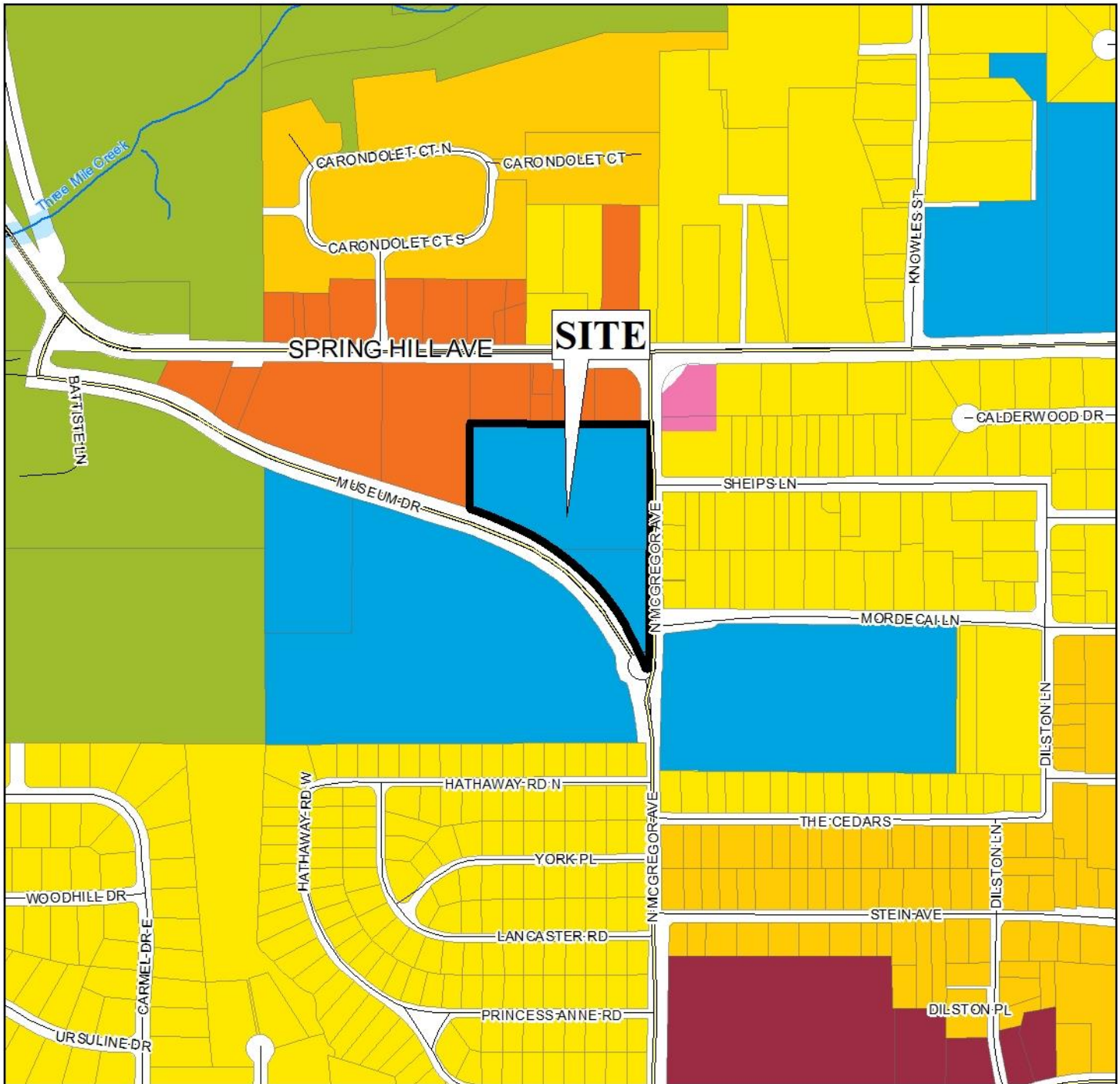
APPLICANT Fort Hardeman Subdivision

REQUEST Subdivision





# FLUM LOCATOR MAP



APPLICATION NUMBER 5 DATE May 20, 2021

APPLICANT Fort Hardeman Subdivision

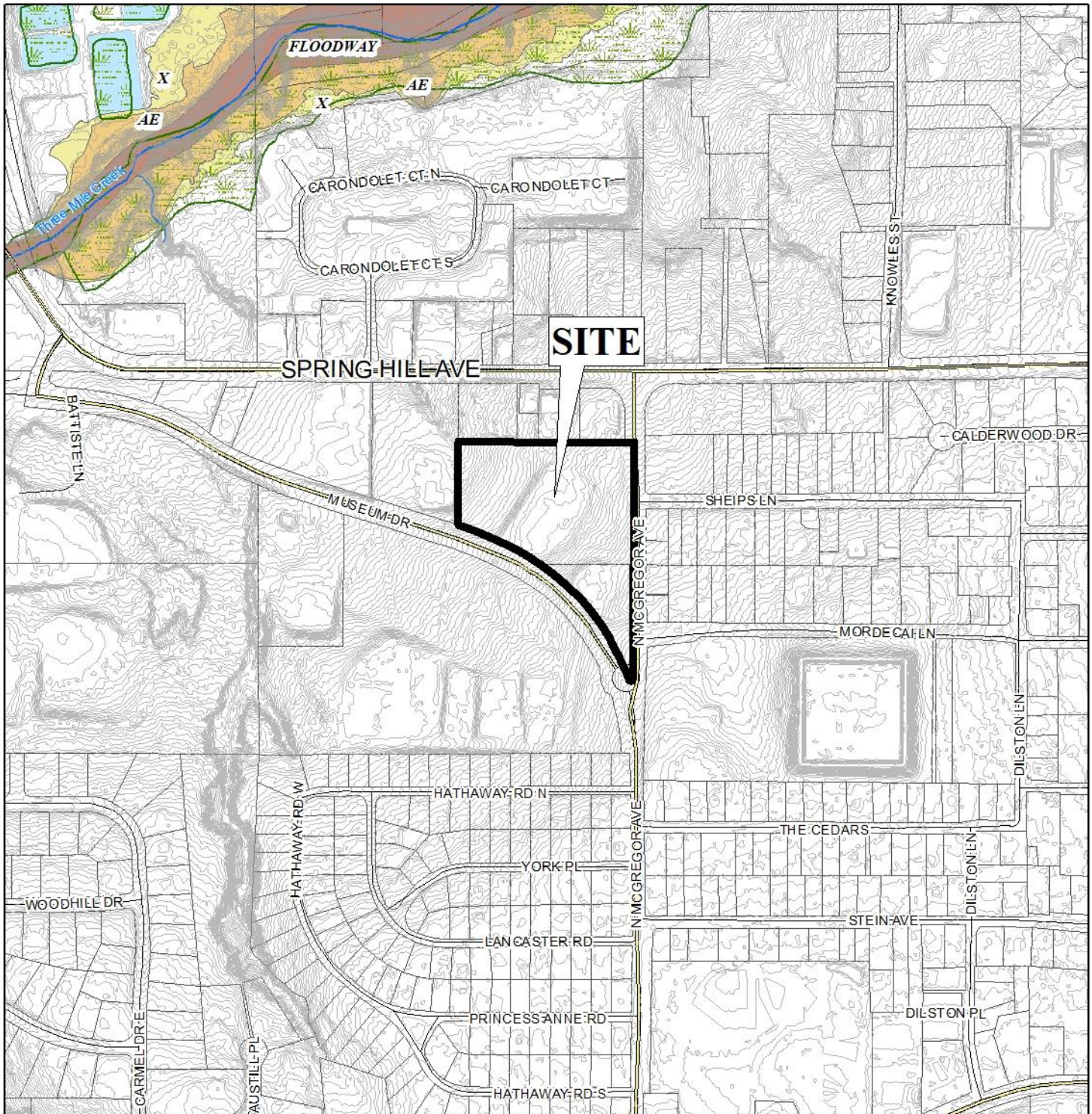
REQUEST Subdivision

- |   |  |   |  |
|---|--|---|--|
| <span style="display:inline-block; width:15px; height:15px; background-color:yellow; border:1px solid black;"></span> Low Density Residential   | <span style="display:inline-block; width:15px; height:15px; background-color:darkred; border:1px solid black;"></span> Neighborhood Center - Traditional | <span style="display:inline-block; width:15px; height:15px; background-color:darkorange; border:1px solid black;"></span> Downtown Waterfront | <span style="display:inline-block; width:15px; height:15px; background-color:lightgreen; border:1px solid black;"></span> Parks & Open Space |
| <span style="display:inline-block; width:15px; height:15px; background-color:orange; border:1px solid black;"></span> Mixed Density Residential | <span style="display:inline-block; width:15px; height:15px; background-color:blue; border:1px solid black;"></span> Neighborhood Center - Suburban       | <span style="display:inline-block; width:15px; height:15px; background-color:lightblue; border:1px solid black;"></span> Light Industry       | <span style="display:inline-block; width:15px; height:15px; background-color:darkblue; border:1px solid black;"></span> Water Dependent      |
| <span style="display:inline-block; width:15px; height:15px; background-color:pink; border:1px solid black;"></span> Downtown                    | <span style="display:inline-block; width:15px; height:15px; background-color:lightpink; border:1px solid black;"></span> Traditional Corridor            | <span style="display:inline-block; width:15px; height:15px; background-color:purple; border:1px solid black;"></span> Heavy Industry          |  |
| <span style="display:inline-block; width:15px; height:15px; background-color:red; border:1px solid black;"></span> District Center              | <span style="display:inline-block; width:15px; height:15px; background-color:darkorange; border:1px solid black;"></span> Mixed Commercial Corridor      | <span style="display:inline-block; width:15px; height:15px; background-color:lightblue; border:1px solid black;"></span> Institutional        |  |





# ENVIRONMENTAL LOCATOR MAP



APPLICATION NUMBER 5 DATE May 20, 2021

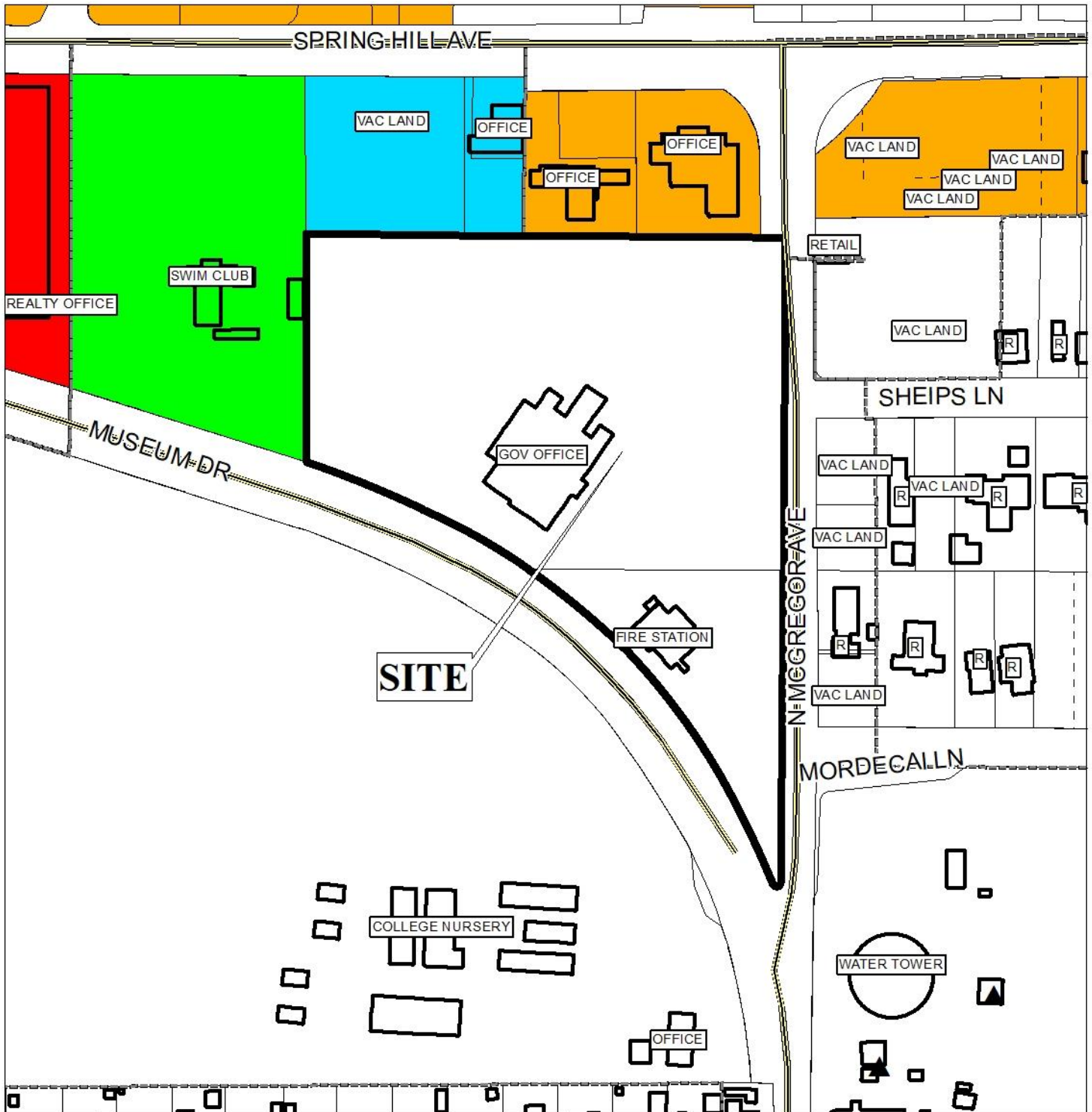
APPLICANT Fort Hardeman Subdivision

REQUEST Subdivision





# FORT HARDEMAN SUBDIVISION



APPLICATION NUMBER 5 DATE May 20, 2021

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6





# FORT HARDEMAN SUBDIVISION

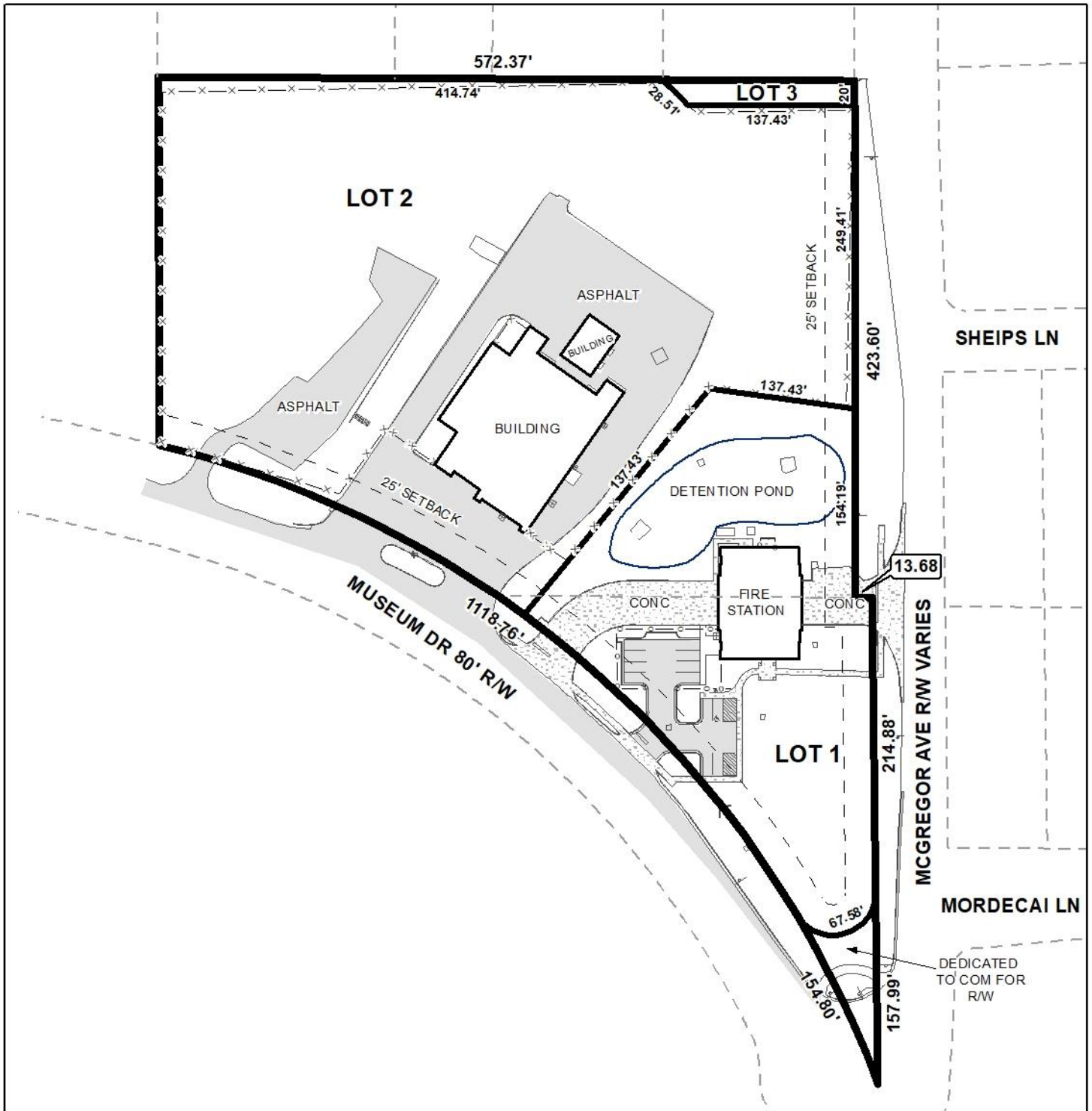


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# DETAIL SITE PLAN



APPLICATION NUMBER 5 DATE May 20, 2021

APPLICANT Fort Hardeman Subdivision

REQUEST Subdivision



NTS