

**PLANNED UNIT DEVELOPMENT
& SUBDIVISION STAFF REPORT****Date: October 20, 2005****DEVELOPMENT NAME**

Corrected Plat, Somerby Subdivision, Resubdivision of Lots 1 & 2 of a Resubdivision of Lot 2, Resubdivision of Lots 58-65

SUBDIVISION NAME

Corrected Plat, Somerby Subdivision, Resubdivision of Lots 1 & 2 of a Resubdivision of Lot 2, Resubdivision of Lots 58-65

LOCATION

North side of Somerby Lane (private street) at its West terminus

**CITY COUNCIL
DISTRICT**

District 6

PRESENT ZONING

B-1, Buffer Business

AREA OF PROPERTY

1.5± acres

CONTEMPLATED USE

Multiple buildings on a single lot

**TIME SCHEDULE
FOR DEVELOPMENT**

Immediate

**ENGINEERING
COMMENTS**

Must comply with all stormwater and flood control ordinances. Any work performed in the right of way will require a right of way permit.

**TRAFFIC ENGINEERING
COMMENTS**

Driveway number, sizes, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

**URBAN FORESTRY
COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

REMARKS

The applicant is requesting Planned Unit Development and Subdivision approvals, to allow two buildings on a single lot of record.

The purpose of the application is to amend an earlier Planned Unit Development approval for Daniel Senior Living, which is similar to the original proposal for the site, and was later altered to allow individual home sites.

The applicant wishes to create a one-lot subdivision from eight lots of record. The lot would meet the minimum requirements of the Subdivision Regulations. The site fronts Somerby Lane, a private drive, and Somerby Drive, a public street with a 60-foot right-of-way. The required 25-foot building setback lines are not shown but would be required on the final plat (from both Somerby Lane and Somerby Drive). The plat includes a note that indicates reduced setbacks; these reflect existing, not proposed, setbacks, and should be revised for the final plat.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD.

The applicant's engineer states that the proposed use of the buildings is single-story townhouses, with four per building. This would require 12 spaces, which are not illustrated on the site plan, but for which there appears to be ample room in the shared driveways. As the site will not increase the total number of dwellings on the site, circulation should not be adversely affected. As the site is zoned B-1, Buffer Business, PUD approval should be conditional on the residential use of this site.

RECOMMENDATION *Subdivision* Based on the preceding, the application is recommended for Tentative Approval, subject to the following conditions: 1) the depiction of the required 25-foot building setback lines from Somerby Lane and Somerby Drive; and 2) the exclusion from the final plat of any notes describing reduced setbacks.

Planned Unit Development Based on the preceding, it is recommended that this application be approved, subject to the following conditions: 1) full compliance with all municipal codes and ordinances; and 2) the restriction of the site to residential use.

LOCATOR MAP



APPLICATION NUMBER 5 & 6 DATE October 20, 2005

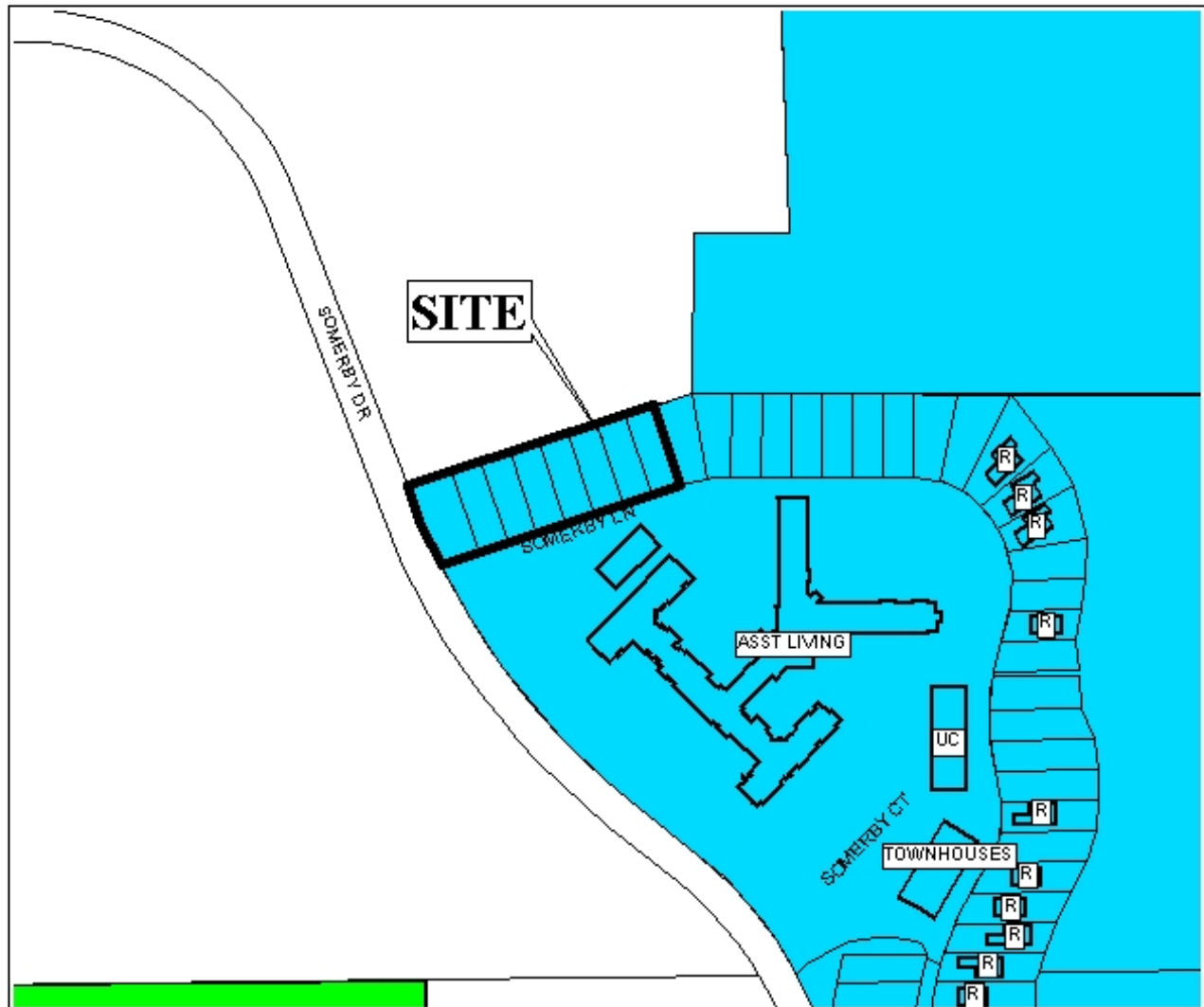
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REQUEST Planned Unit Development, Subdivision



NTS

PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



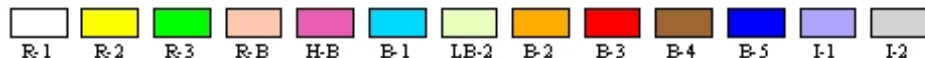
The site is surrounded by vacant properties, with an assisted living facility to the South.

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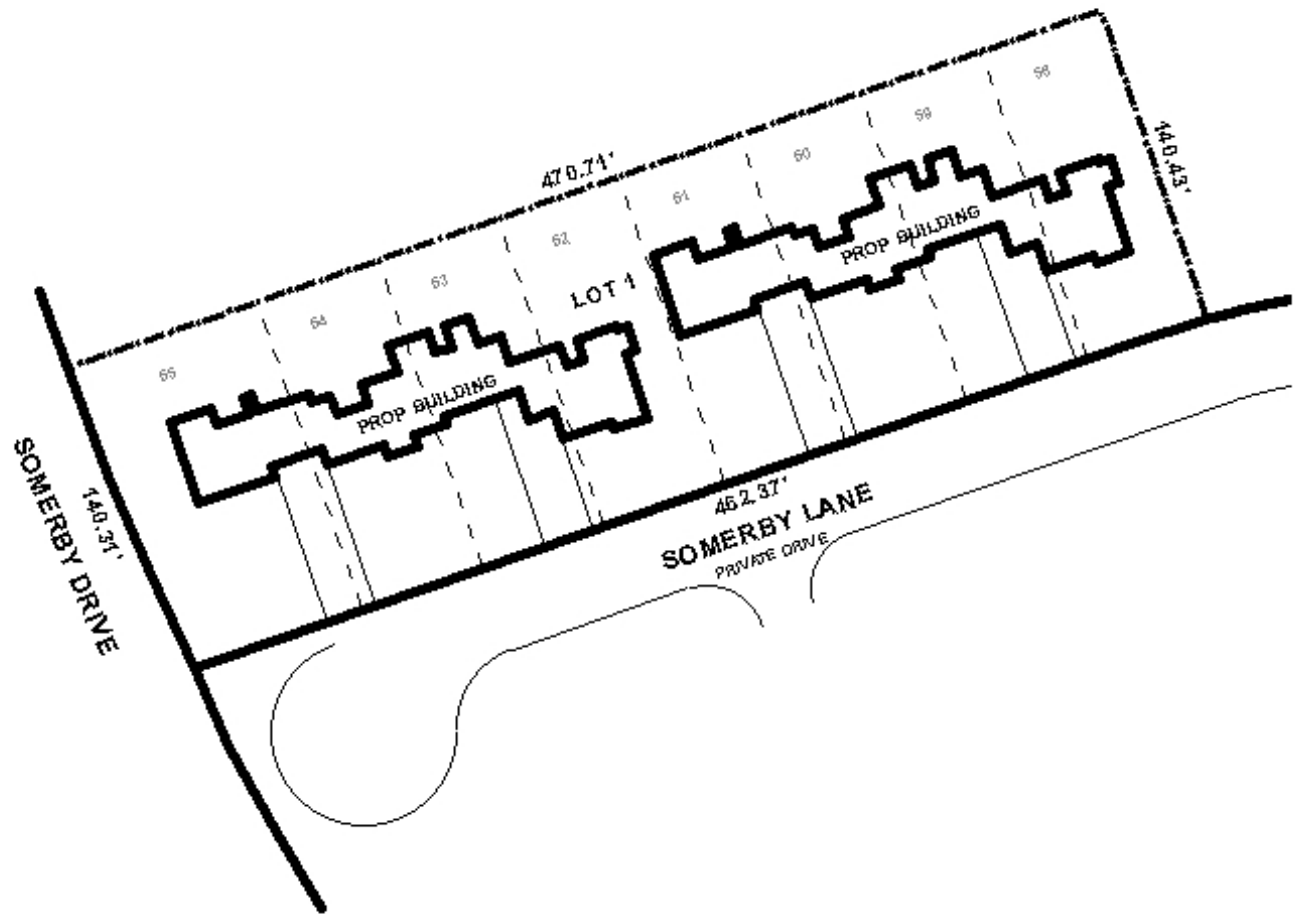
REQUEST PUD, Subdivision

LEGEND



NTS

SITE PLAN



The site is located on the North side of Somerby Lane at its West terminus.
The plan illustrates the proposed buildings and subdivision.

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REQUEST Planned Unit Development, Subdivision

