

**PLANNED UNIT DEVELOPMENT
& SUBDIVISION STAFF REPORT****Date: July 7, 2011**

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| <u>DEVELOPMENT NAME</u> | Oakleigh Place Subdivision, Re-subdivision of Lots 8 & 9 |
| <u>SUBDIVISION NAME</u> | Oakleigh Place Subdivision, Re-subdivision of Lots 8 & 9 |
| <u>LOCATION</u> | 6359 & 6363 Oakleigh Way (South side of Oakleigh Way, 430'± East of Hillcrest Road) |
| <u>CITY COUNCIL DISTRICT</u> | District 6 |
| <u>AREA OF PROPERTY</u> | 2 Lots / 1.7 ± acres |
| <u>CONTEMPLATED USE</u> | Planned Unit Development and Subdivision approval to amend a previously approved Planned Unit Development and Subdivision to change the front lot line between lots 8 and 9 to allow a driveway for lot 8. |
| <u>TIME SCHEDULE FOR DEVELOPMENT</u> | Developed |
| <u>ENGINEERING COMMENTS</u> | Must comply with all storm water and flood control ordinances. Any increase in impervious area in excess of 4,000 square feet will require detention. Any work performed in the right of way will require a right of way permit. |
| <u>TRAFFIC ENGINEERING COMMENTS</u> | Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. |
| <u>URBAN FORESTRY COMMENTS</u> | Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64). |
| <u>FIRE DEPARTMENT COMMENTS</u> | All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile. |
| <u>REMARKS</u> | The applicant is seeking Planned Unit Development Approval and Subdivision approval to amend a previously approved Planned Unit Development and Subdivision to change the front lot line between lots 8 and 9 to allow a driveway for lot 8. |

The site is located in Council District 6, and according to the applicant is served by public water and sanitary sewer.

The purpose of this application is to resubdivide two existing recorded lots, to accommodate a driveway that was erroneously constructed across a property line. The lots are contained within an existing PUD that was most recently approved by the Planning Commission at its June 4, 2010 meeting.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus any changes to the site plan / Subdivision plat will require approval by the Planning Commission.

Subdivision review examines the site with regard to promoting orderly development, protecting general health, safety and welfare, and ensuring that development is correlated with adjacent developments and public utilities and services, and to ensure that the subdivision meets the minimum standards set forth in the Subdivision Regulations for lot size, road frontage, lot configuration, etc.

The site is zoned R-1, Single-Family Residential District, however, the existing PUD allows a 5-foot side yard setback, an 8-foot rear yard setback, and a 40% maximum site coverage: no changes to these allowances are proposed.

Each lot fronts onto Oakleigh Way, a minor street with adequate right-of-way. Due to the limited width of each lot, each lot should be limited to one curb-cut, with the size, design and location to be approved by Traffic Engineering and to comply with AASHTO standards.

Each lot appears to meet minimum size requirements, and each are labeled with their size in square feet on the preliminary plat. Both lots also have the minimum front setback lines depicted and labeled. It should be noted that some of the front setbacks exceed the 25-foot minimum, as they are placed where the lot is 60-feet wide. These items should be retained for the final plat and site plan, if approved.

Proposed Lot 8 exceeds the width to depth ratio of Section V.D.3. of the Subdivision Regulations, however, the shape of the property makes it difficult to provide adequate street frontage. A waiver of this section may be appropriate.

Lot 8 additionally contains a drainage easement along a portion of the West property line, and partially across the site. A note should be placed on the final plat stating that no structures shall be built within the drainage easement.

The overall development has common areas. Even though this two lot application does not depict common areas, a note should be placed on the plat and site plan stating that the maintenance of all common areas is the responsibility of the property owners.

Finally, the geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

RECOMMENDATION

Subdivision: Based upon the preceding, and with a waiver of Section V.D.3. of the Subdivision Regulations for Lot 8, this application is recommended for Tentative Approval, subject to the following conditions:

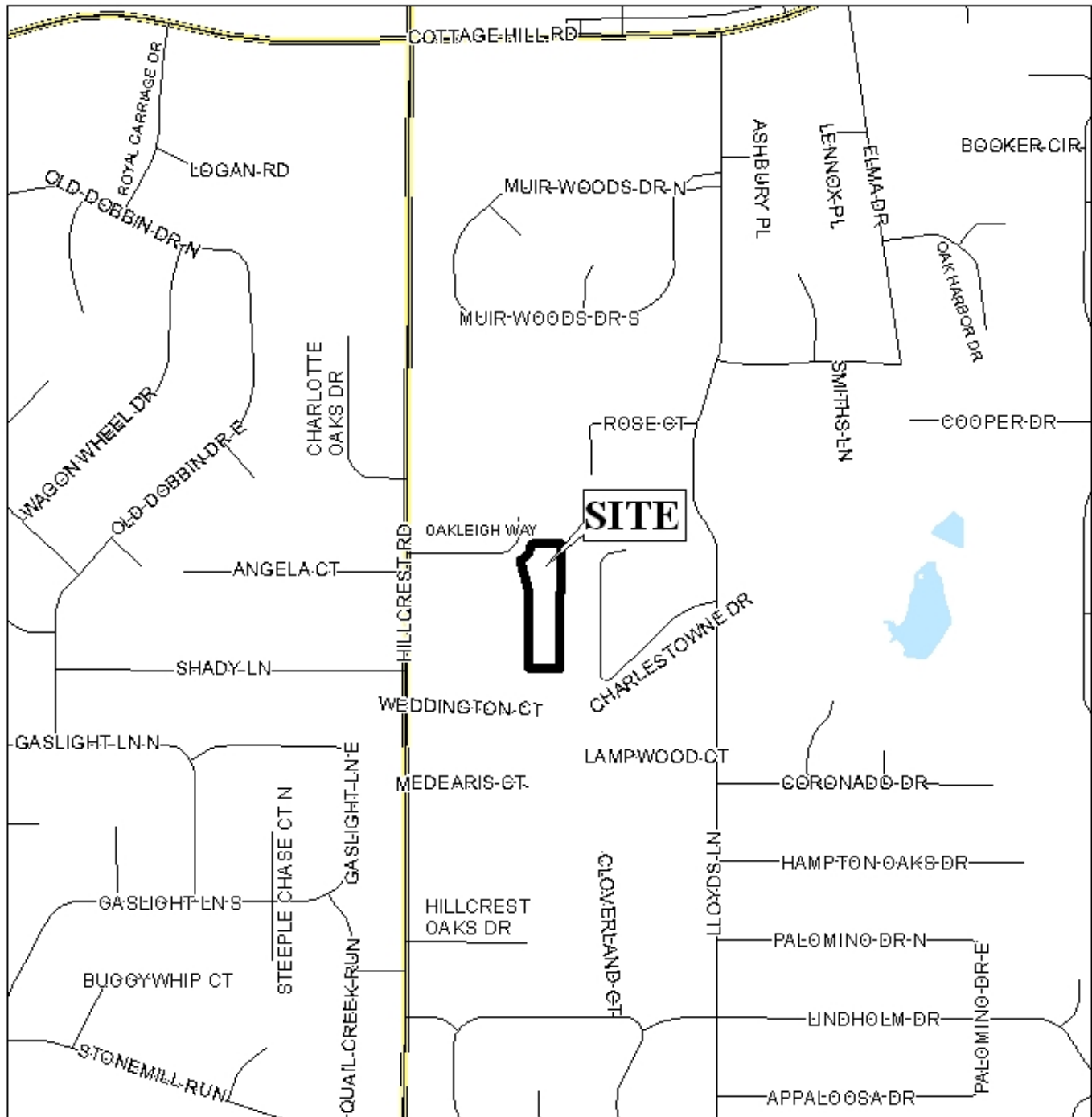
- 1) depiction and labeling of the minimum building setback line to be at least 25-feet from all street frontages for all lots, or where the lot is a minimum of 60 feet in width for lots less than 60-feet wide at the street, as shown;
- 2) placement of a note on the site plan and plat stating that the maximum building site coverage per lot is 40%, the minimum side yard setback is 5 feet, and the minimum rear yard setback is 8 feet;
- 3) placement of a note on the site plan and plat stating that no structures are allowed within the drainage easement on Lot 8;
- 4) labeling of all common areas, if any, and placement of a note on the site plan and plat stating that maintenance of common areas is the responsibility of the property owners;
- 5) placement of a note on the site plan and plat that each lot is limited to one curb-cut, with the size, design and location to be approved by Traffic Engineering and in compliance with AASHTO standards, as shown;
- 6) full compliance with Engineering comments (*Must comply with all storm water and flood control ordinances. Any increase in impervious area in excess of 4,000 square feet will require detention. Any work performed in the right of way will require a right of way permit.*);
- 7) full compliance with Urban Forestry comments, and placement of the comments as a note on the site plan and plat (*Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).*);
- 8) placement of a note on the site plan and plat stating that the site must be developed in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species prior to land disturbance or the issuance of permits;
- 9) provision of two (2) revised PUD site plans to the Planning Section of Urban Development prior to the signing of any Subdivision plat; and
- 10) completion of the Subdivision process prior to any additional permitting activities.

Planned Unit Development: Based upon the preceding, this application is recommended for Approval, subject to the following conditions:

- 1) depiction and labeling of the minimum building setback line to be at least 25-feet from all street frontages for all lots, or where the lot is a minimum of 60 feet in width for lots less than 60-feet wide at the street, as shown;

- 2) placement of a note on the site plan and plat stating that the maximum building site coverage per lot is 40%, the minimum side yard setback is 5 feet, and the minimum rear yard setback is 8 feet;
- 3) placement of a note on the site plan and plat stating that no structures are allowed within the drainage easement on Lot 8;
- 4) labeling of all common areas, if any, and placement of a note on the site plan and plat stating that maintenance of common areas is the responsibility of the property owners;
- 5) placement of a note on the site plan and plat that each lot is limited to one curb-cut, with the size, design and location to be approved by Traffic Engineering and in compliance with AASHTO standards, as shown;
- 6) full compliance with Engineering comments (*Must comply with all storm water and flood control ordinances. Any increase in impervious area in excess of 4,000 square feet will require detention. Any work performed in the right of way will require a right of way permit.*);
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- 8) placement of a note on the site plan and plat stating that the site must be developed in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species prior to land disturbance or the issuance of permits;
- 9) provision of two (2) revised PUD site plans to the Planning Section of Urban Development prior to the signing of the Subdivision plat;
- 10) completion of the Subdivision process prior to any additional permitting activities; and,
- 11) full compliance with all other municipal codes and ordinances.

LOCATOR MAP



APPLICATION NUMBER 5 & 6 DATE July 7, 2011

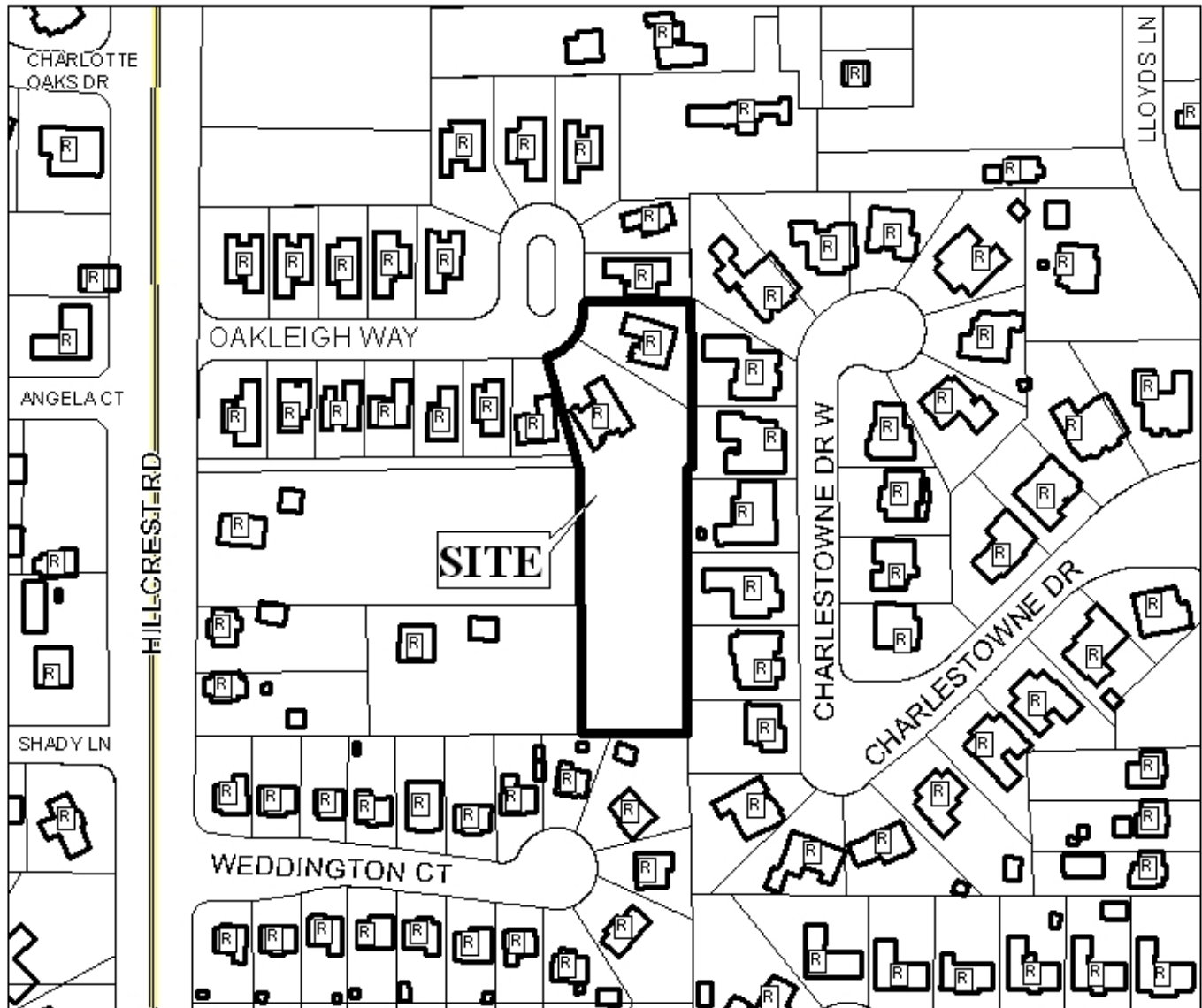
APPLICANT Oakleigh Place Subdivision, Re-subdivision of Lots 8 & 9

REQUEST Subdivision, Planned Unit Development



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PLANNING COMMISSION VICINITY MAP - EXISTING ZONING











The site is surrounded by single family residential units.

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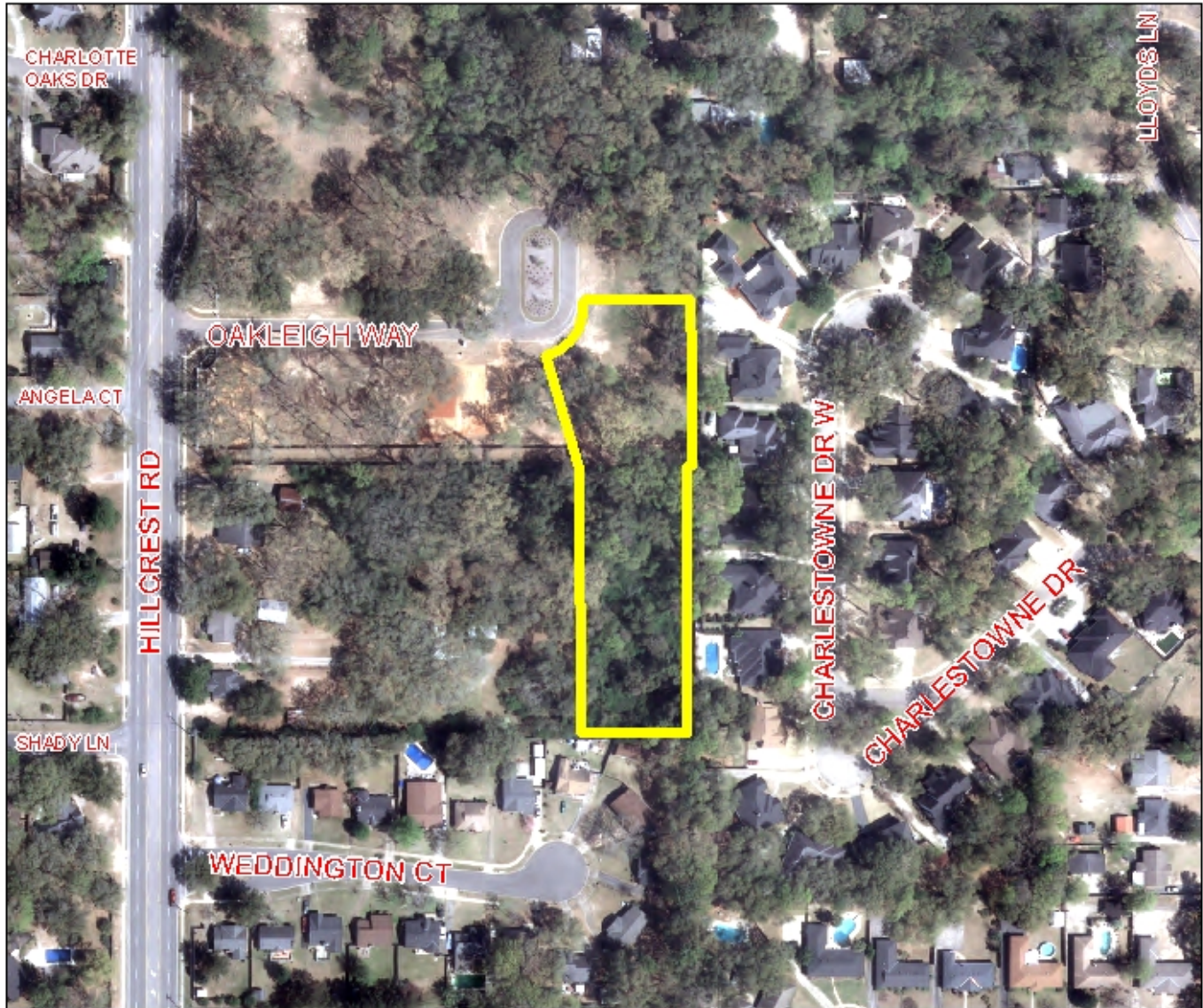
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| LEGEND |  |  |  |  |  |  |  |  |  |  |  |  |  |  | |
| | R-1 | R-2 | R-3 | R-4 | R-B | H-B | T-B | B-1 | LB-2 | B-2 | B-3 | B-4 | B-5 | I-1 | I-2 |



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PLANNING COMMISSION VICINITY MAP - EXISTING ZONING

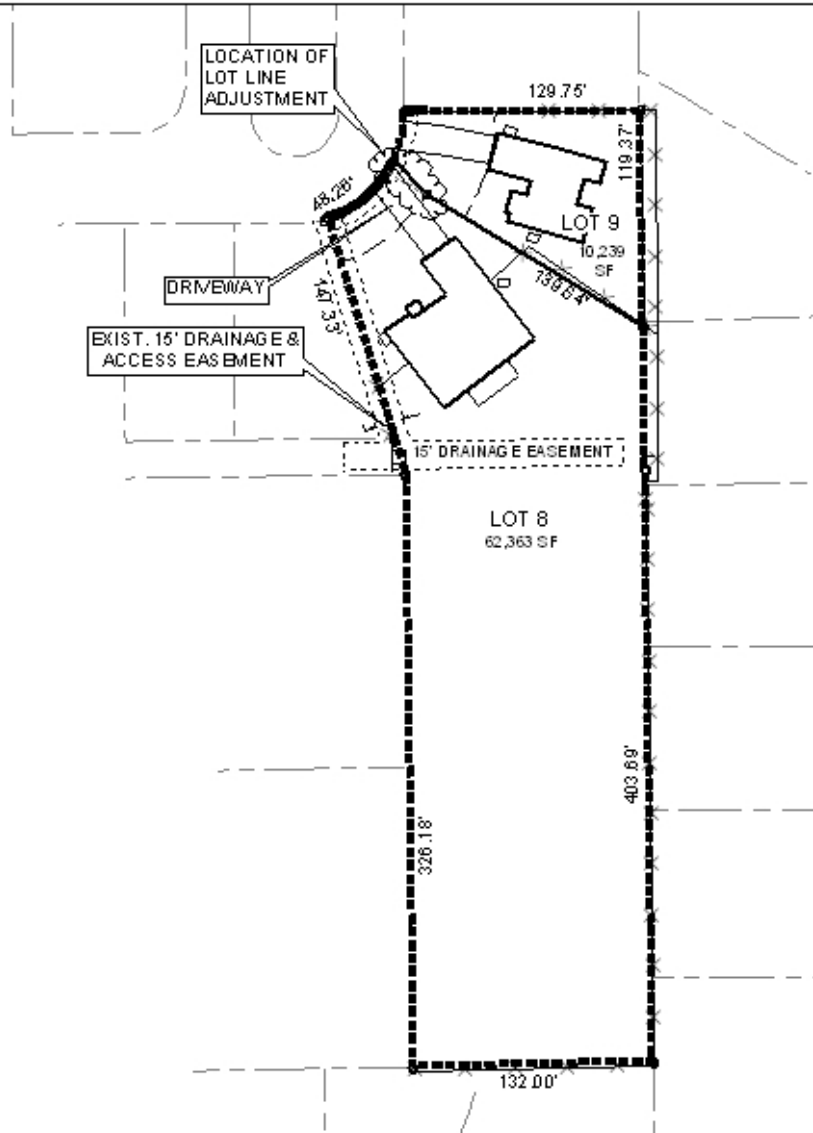


The site is surrounded by single family residential units.

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SITE PLAN



The site plan illustrates the proposed lot configuration, the location of existing buildings, easements, and setbacks.

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