

VALENCIA CORNER SUBDIVISION

Engineering Comments: FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer):

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Show and label the streets in the vicinity map.
- C. Label all lines, or include them in a legend.
- D. Clarify the street names and show/label the aka street names.
- E. Show and label the curve data.
- F. Review and revise the written legal description and/or written bearing and distances to match.
- G. Revise the plat to label each lot with its size in acres and square feet, or the furnishing of a table on the Plat providing the same information.
- H. Dedicate the corner radius (25' minimum or as approved by the City Engineer and Traffic Engineer) at the northeast corner of the lot.
- I. Provide and label the monument set or found at each subdivision corner.
- J. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- K. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- L. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- M. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved.
- N. Provide a copy of the FINAL PLAT to the Engineering Dept. for FINAL PLAT review prior to obtaining any signatures.
- O. After FINAL PLAT review by the Engineering Dept. provide the red-line markup, a copy of the revised original Final Plat, and the original when submitting for City Engineer signature.

Traffic Engineering Comments: Inn Road is an ALDOT maintained roadway, and access to Inn Road is subject to ALDOT approval. Site is limited to no more than two curb cuts to Tillman's Corner Parkway, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).

Fire-Rescue Department Comments: All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code).

MAWSS Comments: MAWSS has water and sewer services available, but a Capacity Assurance application for **additional** sewer service has not been applied for. MAWSS cannot guarantee **additional** sewer service until the Capacity application is approved by Volkert Engineering Inc.

Map for Mobile Development Area(s) and Intent: Suburban Center

- Greater density including mixed-use with residential above community scale services and retail
- Accommodation of all users: automobile, bicycle, pedestrian, and transit
- Connectivity to surrounding neighborhoods through sidewalks, trails, etc.
- Encourage redevelopment of existing strip centers into mixed-use development or green space
- Emphasis on adding density, mixing uses and promoting walkability and connectivity to other areas of the City

The plat illustrates the proposed 1-lot, 1.7± acre subdivision which is located on the Southwest corner of Tillmans Corner Parkway and Inn Road within Council District 4. The applicant states that the subdivision is served by city water and sanitary sewer systems. The purpose of this application is to create one legal lot of record from three metes-and-bounds parcels.

The subject property is bounded by B-3, Community Business District uses to the North, East, South, and West of the site.

The subject lot fronts both Inn Road and Tillmans Corner Parkway. Inn Road and Tillmans Corner Parkway are minor streets without curb and gutter. Minor streets without curb and gutter require a 60' wide right-of-way width; however, Inn Road is an ALDOT maintained roadway and access to Inn Road is subject to ALDOT approval. The right-of-way width for Inn Road is depicted as "varies" and should be revised to indicate a minimum width of 60' on the Final Plat, if approved. The right-of-way width for Tillmans Corner Parkway is depicted as 60' on the preliminary plat and should be retained as such on the Final Plat, if approved.

The 25-foot minimum building setback line is not depicted on the preliminary plat along either Tillmans Corner Parkway or Inn Road. If approved, the Final Plat must be revised to illustrate the 25-foot minimum building setback lines on the subject site.

The proposed lot exceeds the 7,200 square foot minimum lot size requirements for lots served by public water and sanitary sewer systems. The lot size information is indicated in both square feet and in acres and should be retained on the Final Plat, if approved.

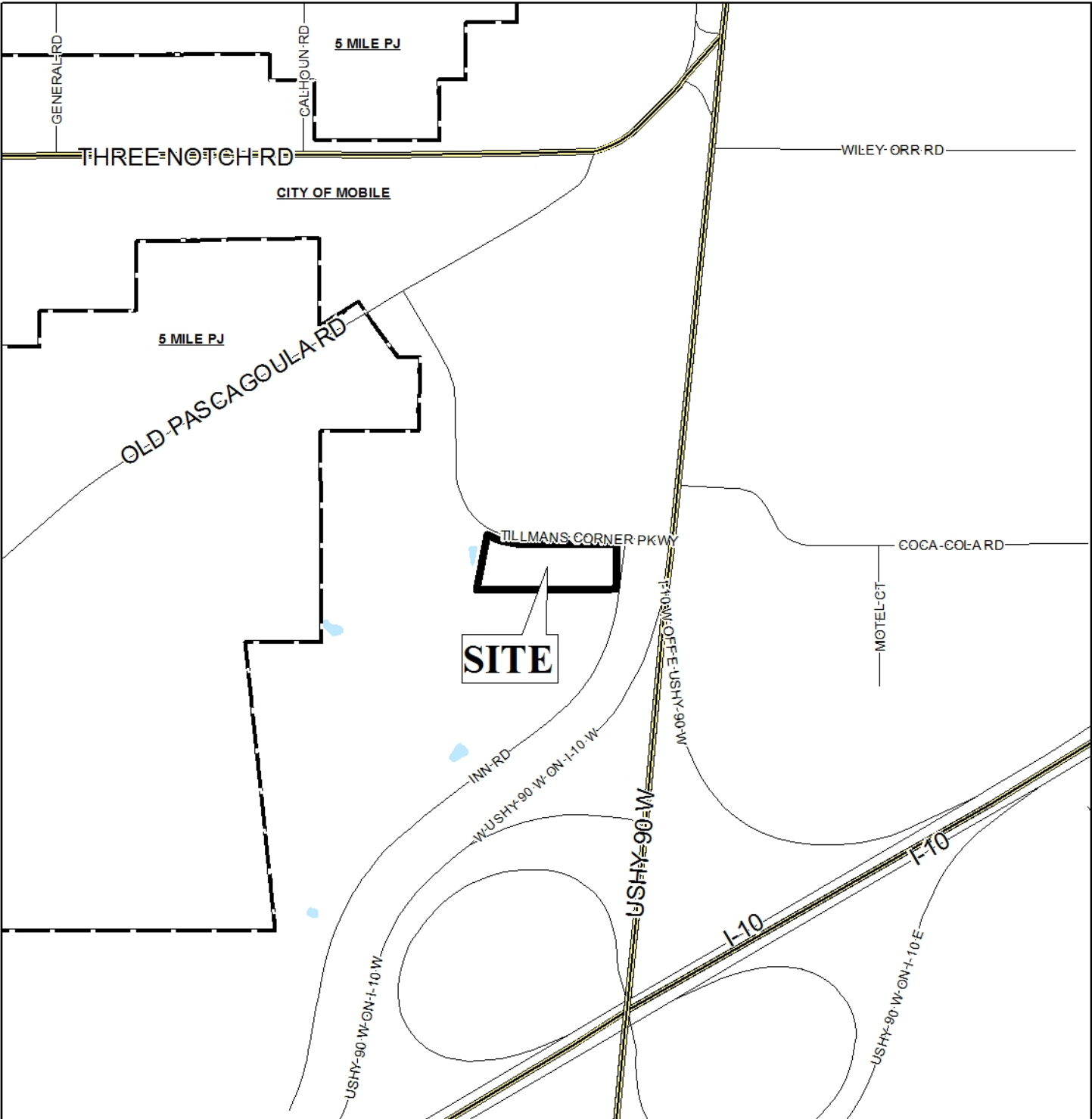
As a means of access management, a note should be placed on the Final Plat stating that the lot is limited to two curb cuts to Tillmans Corner Parkway, with any changes to the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Based upon the preceding, this application is recommended for Tentative Approval, subject to the following conditions:

- 1) Retention of the right-of-way width along Tillmans Corner Parkway;
- 2) Revision of the right-of-way width along Inn Road to depict a width of 60';
- 3) Revision of the Final Plat to illustrate the 25-foot minimum building setback lines along both Inn Road and Tillmans Corner Parkway;
- 4) Retention of the lot size information in both square feet and in acres;
- 5) Placement of a note on the Final Plat stating that the lot is limited to two curb cuts to Tillmans Corner Parkway, with any changes to the size, location and design to be approved by Traffic Engineering and conform to AASHTO standards;
- 6) Compliance with Engineering comments: (*FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer): A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. B. Show and label the streets in the vicinity map. C. Label all lines, or include them in a legend. D. Clarify the street names and show/label the aka street names. E. Show and label the curve data. F. Review and revise the written legal description and/or written bearing and distances to match. G. Revise the plat to label each lot with its size in acres and square feet, or the furnishing of a table on the Plat providing the same information. H. Dedicate the corner radius (25' minimum or as approved by the City Engineer and Traffic Engineer) at the northeast corner of the lot. I. Provide and label the monument set or found at each subdivision corner. J. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. K. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. L. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. M. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved. N. Provide a copy of the FINAL PLAT to the Engineering Dept. for FINAL PLAT review prior to obtaining any signatures. O. After FINAL PLAT review by the Engineering Dept. provide the red-line markup, a copy of the revised original Final Plat, and the original when submitting for City Engineer signature.);*
- 7) Compliance with Traffic Engineering comments (*Inn Road is an ALDOT maintained roadway, and access to Inn Road is subject to ALDOT approval. Site is limited to no more than two curb cuts to Tillman's Corner Parkway, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.);*
- 8) Compliance with Urban Forestry comments (*Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).; and*

- 9) Compliance with Fire Department comments and placement of a note (*All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code).*)

LOCATOR MAP



APPLICATION NUMBER 4 DATE November 17, 2016

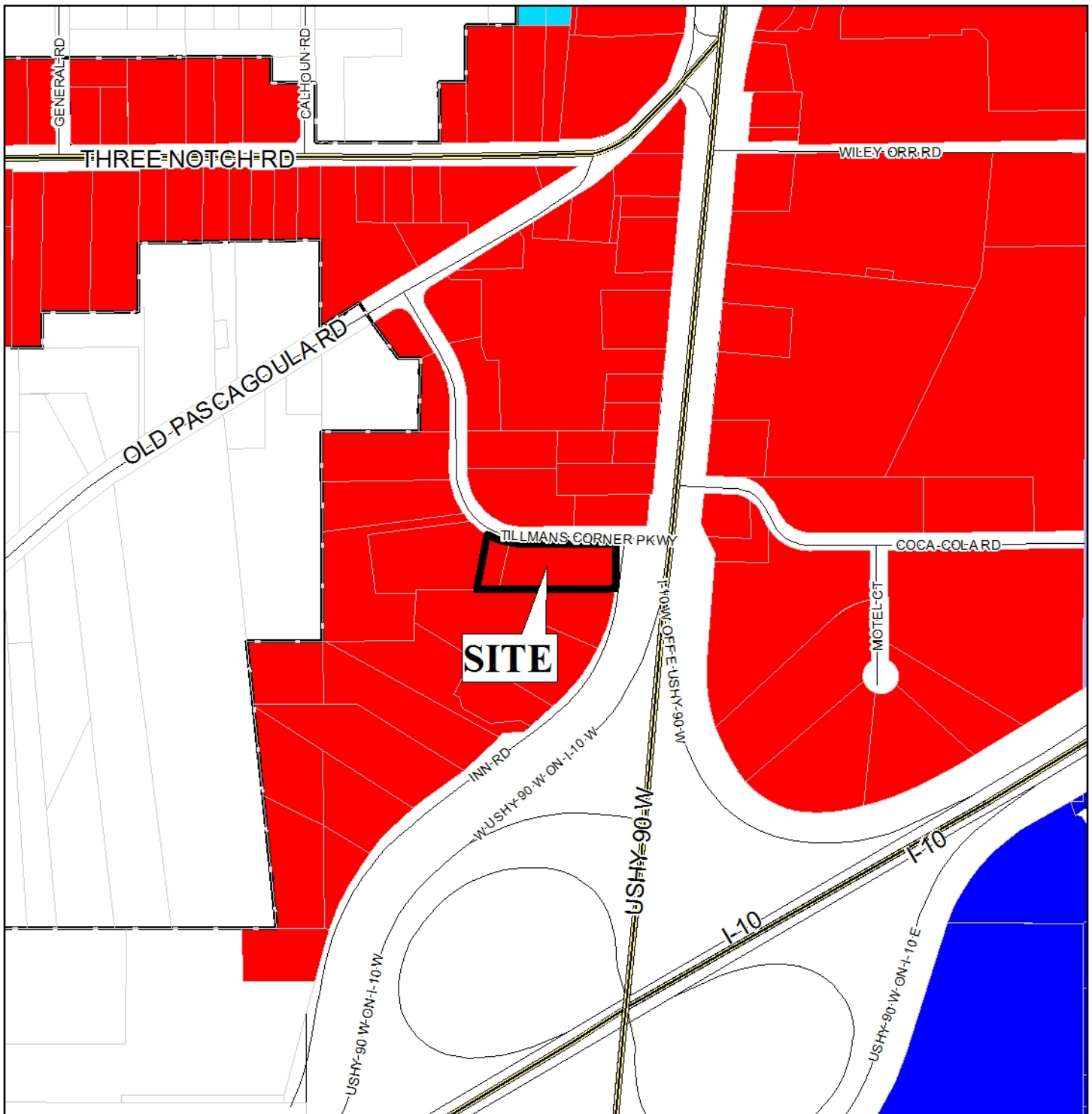
APPLICANT Valencia Corner Subdivision

REQUEST _____ Subdivision _____



NTS

LOCATOR ZONING MAP



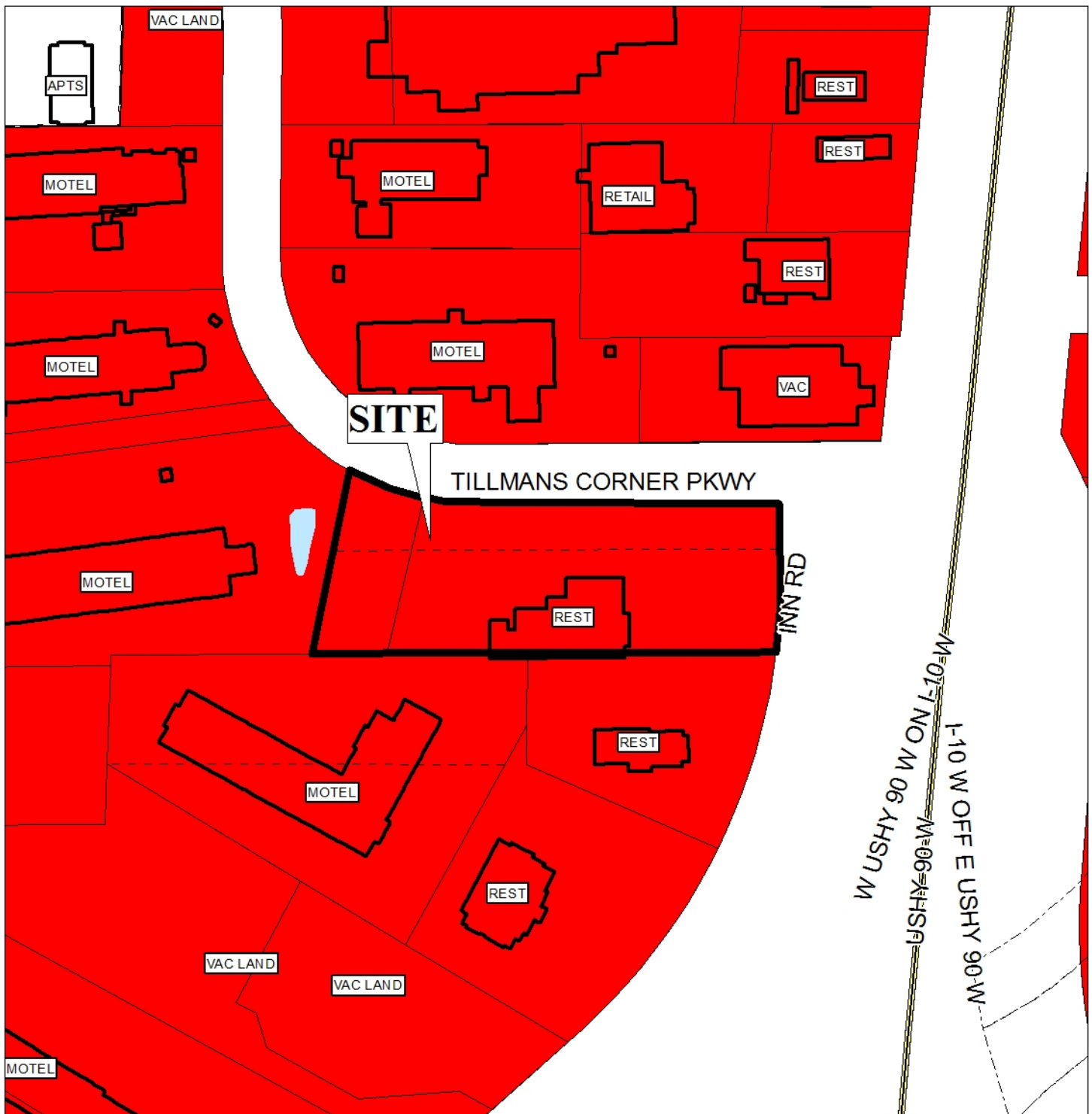
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APPLICANT Valencia Corner Subdivision

REQUEST Subdivision



VALENCIA CORNER SUBDIVISION



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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



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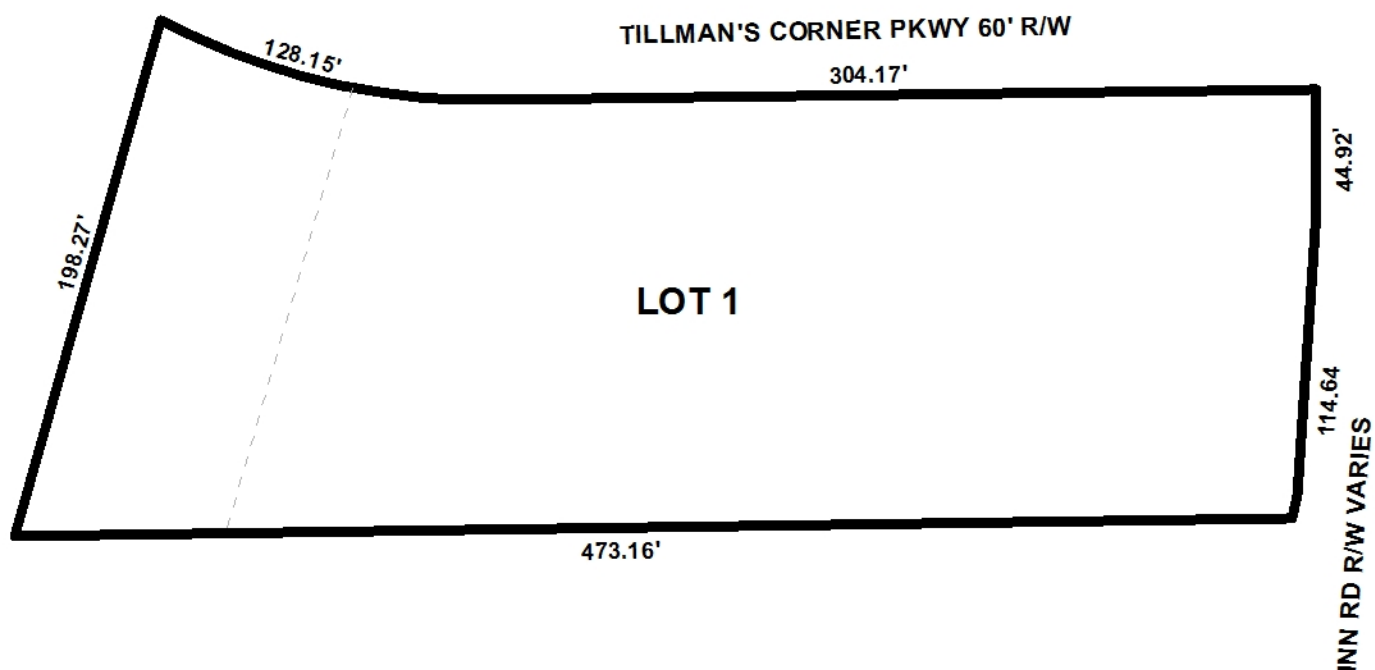


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NTS

DETAIL SITE PLAN



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