

USA POB SUBDIVISION, **ADDITION TO**

Engineering Comments: The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- C. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- D. Correct the spelling of “SPRINGHILL” to “SPRING HILL” and “MLK JR AVE” to “ST STEPHENS RD” in the vicinity map.
- E. Provide the Surveyor’s, Owner’s (notarized), Planning Commission, and Traffic Engineering signatures.
- F. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved.
- G. Show the recording information for the vacated Right-of-Way labeled as “12’ ALLEY – TO BE VACATED”.
- H. Provide an updated Plat to Engineering Dept. for review prior to submittal for City Engineer’s signature.
- I. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.

Traffic Engineering Comments: Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any new required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City’s Zoning Ordinance.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile. As per Appendix D, Section D107.1, one and two family developments with more than 30 dwelling units shall be provided with separate and approved fire apparatus access roads and shall meet the requirements of Section D104.3.

MAWWS Comments: No comments received.

The preliminary plat illustrates the proposed 1-lot, 10.0± acre subdivision which is located at the southwest corner of Center Street and Lyons Park Avenue, also; interior streets Lucy Street, Lambert Street, Sadie Street, and Hill Street all to be vacated, and is in Council District 2. The applicant states that the subdivision is served by city water and sanitary sewer.

This site most recently appeared before the Planning Commission at its July 17, 2014 meeting where the Commission approved the 4-lot, 16.5± acre USA POB Subdivision. It appears the applicant now desires to combine the previously approved Lots 2 and 4, in addition to Lot 6 of Sherman Heights Subdivision (which was previously excluded) to create 1 large, 10.0± acre lot. The applicant should be aware that although USA POB Subdivision has been recorded in Probate Court, it appears Staff has yet to receive 7 probated copies of the Final Plat in order to complete the previous Subdivision request, which will be required prior to the signing of the current request, if approved.

In accordance with the Subdivision Regulations, the proposed lot is compliant with the minimum size requirements. The lot size information and minimum building setback line is illustrated on the preliminary plat and should be retained on the Final Plat, if approved.

The site has frontage along multiple streets: Center, Lucy, and Lambert Streets, and Lyons Park Avenue. The existing rights-of-way width for all streets is sufficient as the site is composed of existing lots; however, the proposed lot will require a waiver of Section V.D.8. of the Subdivision Regulations regarding double frontage lots since the proposed lot will have frontage along multiple streets.

As a means of access management, the number, size, design and location of any curb-cuts are to be approved by Traffic Engineering and conform to AASHTO standards. This note should appear on the Final Plat, if approved.

It should be noted that the plat depicts a 12' alley to be vacated. The Street Vacation process should be completed prior to the signing of the Final Plat, if approved.

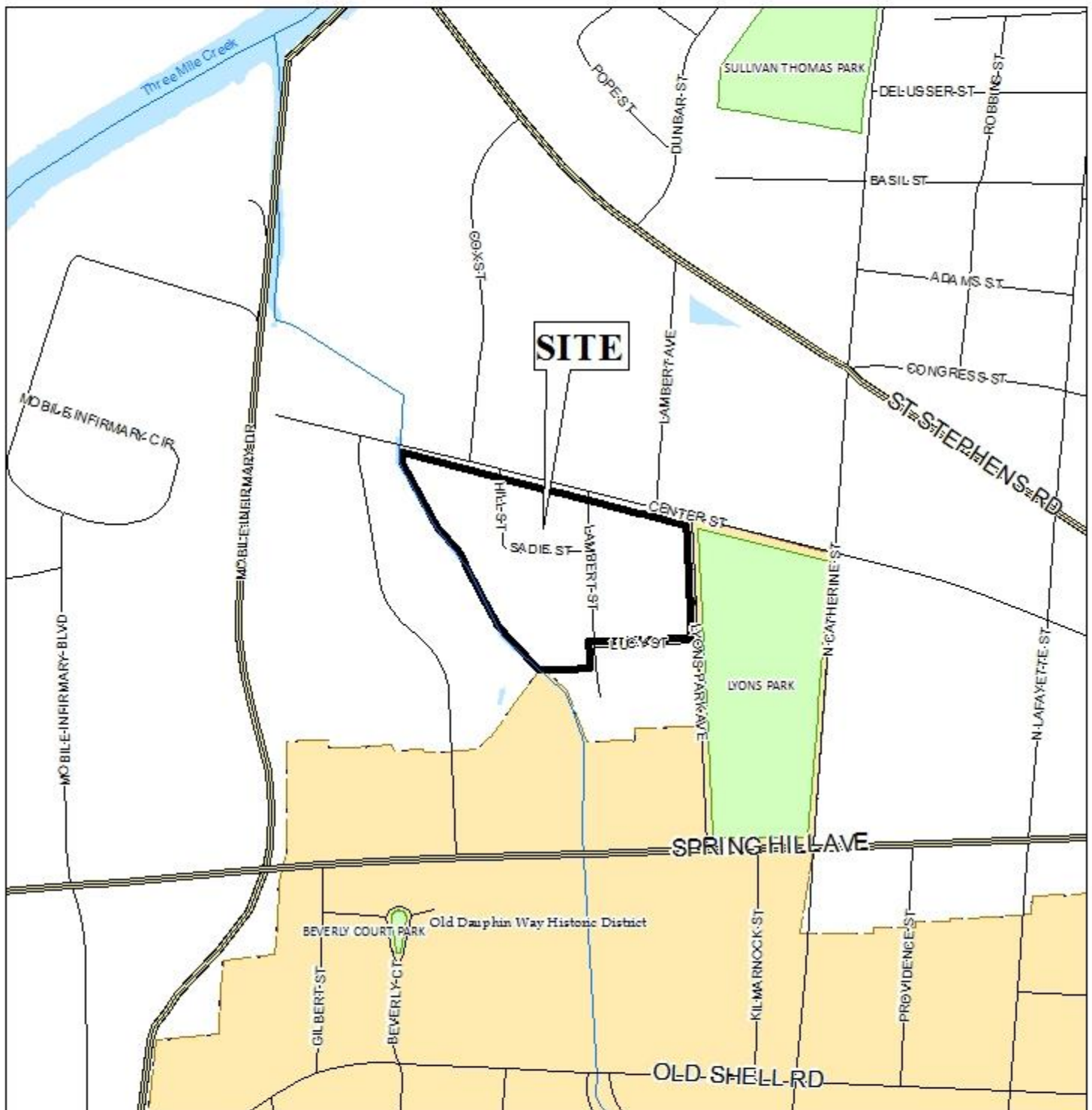
It should be pointed out that the preliminary plat depicts a 15' wide access easement along the southwestern lot line of the proposed lot. If approved, a note should be placed on the Final Plat stating that no permanent structure(s) can be placed or constructed in any easement.

With a waiver of Section V.D.8. of the Subdivision Regulations, the application is recommended for tentative approval, subject to the following conditions:

- 1) Submission of 7 probated copies of the Final Plat of USA POB Subdivision, prior to the signing of the Final Plat for USA POB Subdivision, Addition to;
- 2) Retention of the lot size information and the minimum building setback line on the Final Plat;
- 3) Placement of a note on the Final Plat stating: *(No permanent structure(s) can be placed or constructed in any easement.);*
- 4) Placement of a note on the Final Plat stating: Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards;

- 5) Compliance with Engineering Comments (*The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:*
A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. B. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. C. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. D. Correct the spelling of “SPRINGHILL” to “SPRING HILL” and “MLK JR AVE” to “ST STEPHENS RD” in the vicinity map. E. Provide the Surveyor’s, Owner’s (notarized), Planning Commission, and Traffic Engineering signatures. F. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved. G. Show the recording information for the vacated Right-of-Way labeled as “12’ ALLEY – TO BE VACATED”. H. Provide an updated Plat to Engineering Dept. for review prior to submittal for City Engineer’s signature. I. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.);
- 6) Compliance with Traffic Engineering Comments (*Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any new required on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City’s Zoning Ordinance.*);
- 7) Compliance with Urban Forestry Comments (*Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).*);
- 8) Compliance with Fire Department Comments (*All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile. As per Appendix D, Section D107.1, one and two family developments with more than 30 dwelling units shall be provided with separate and approved fire apparatus access roads and shall meet the requirements of Section D104.3.*); and
- 9) Completion of the Street Vacation process prior to the signing of the Final Plat.

LOCATOR MAP



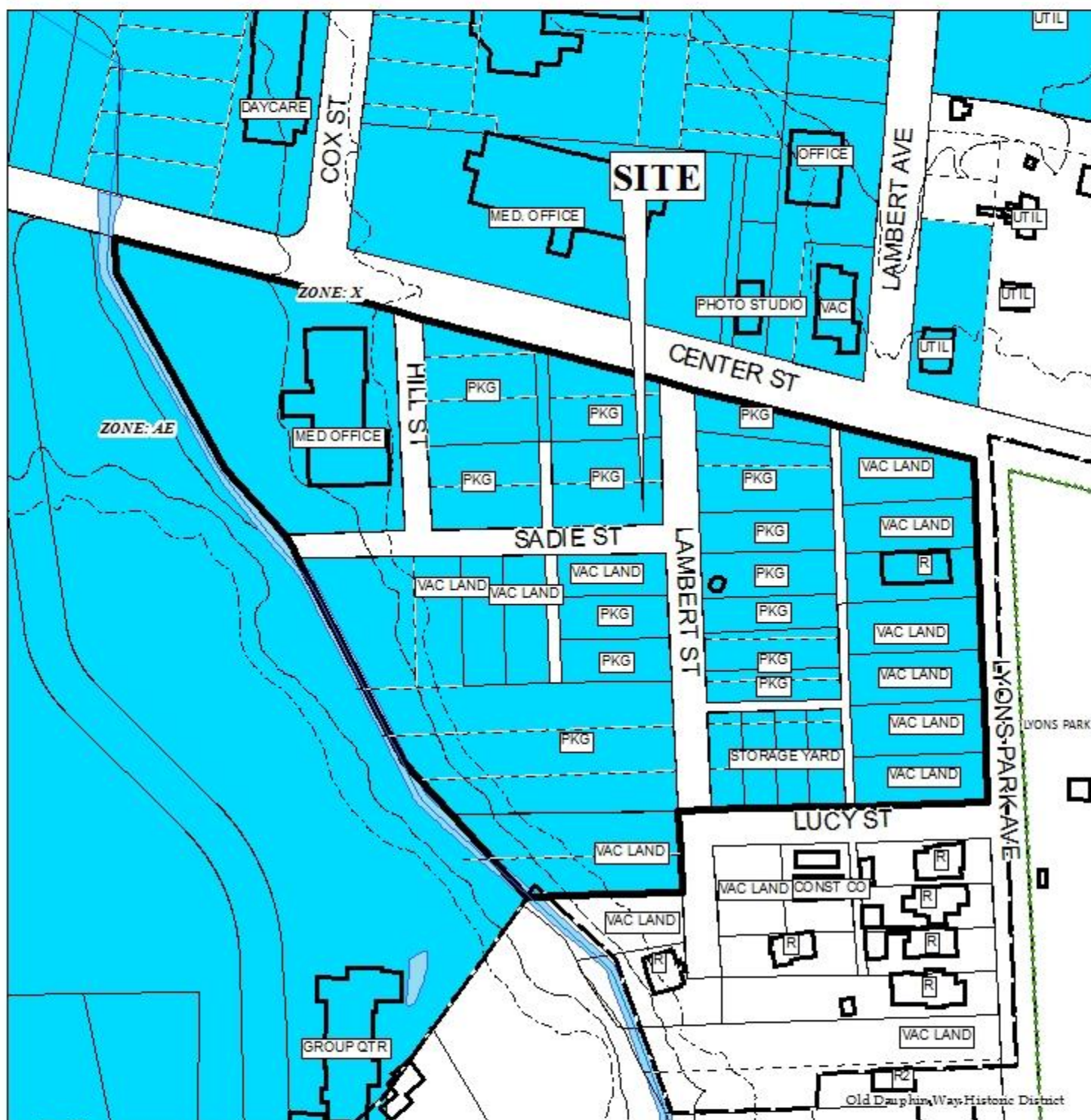
APPLICATION NUMBER 4 DATE May 21, 2015

APPLICANT USA POB Subdivision, Additon to

REQUEST Subdivision



USA POB SUBDIVISION, ADDITON TO



APPLICATION NUMBER 4 DATE May 21, 2015

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|-----|-----|------|-----|-----|------|-------|------|
| R-A | R-3 | T-B | B-2 | B-5 | MUN | SD-WH | T5.1 |
| R-1 | R-B | B-1 | B-3 | I-1 | OPEN | T3 | T5.2 |
| R-2 | H-B | LB-2 | B-4 | I-2 | SD | T4 | T6 |



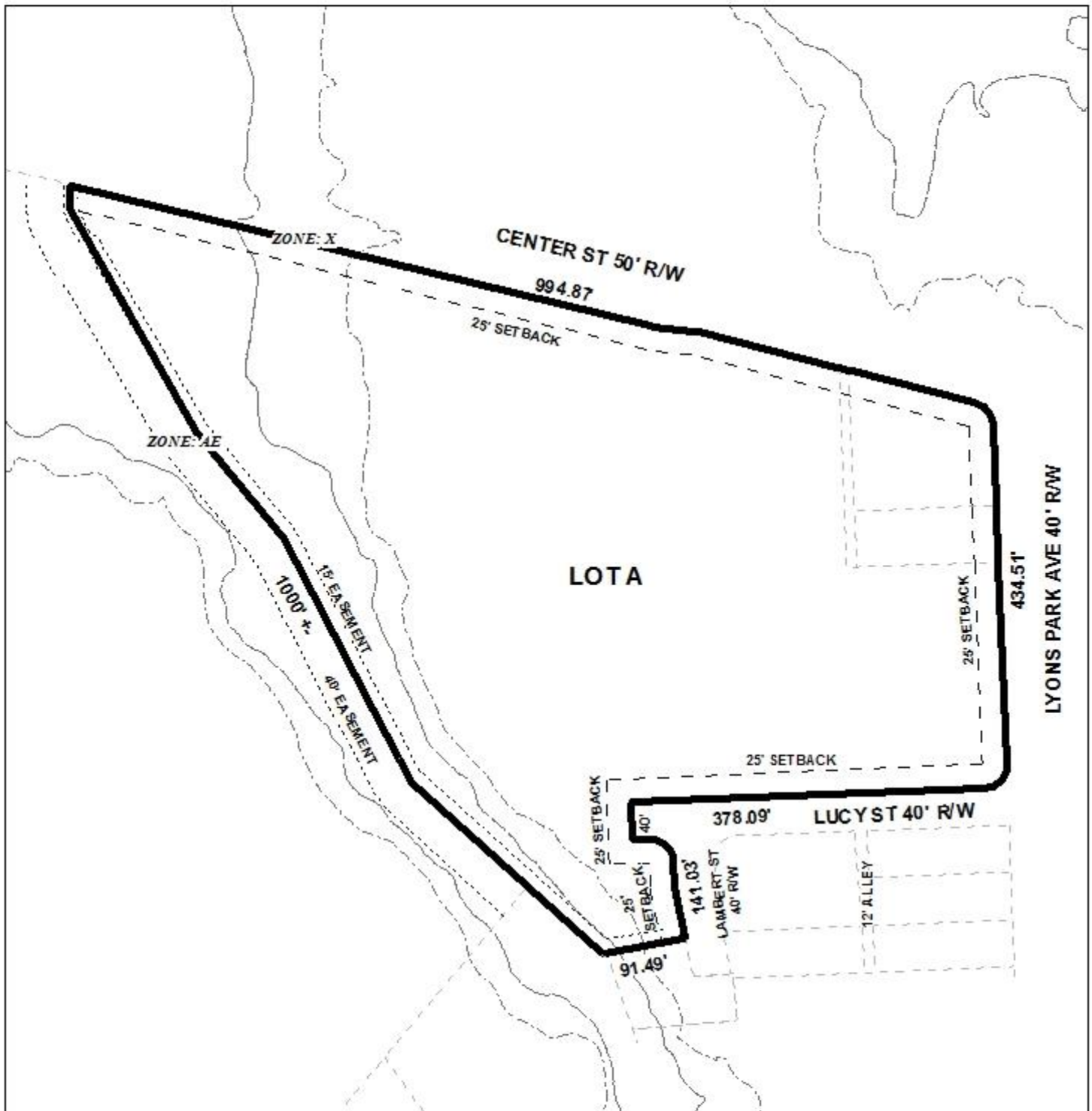
USA POB SUBDIVISION, ADDITON TO



APPLICATION NUMBER 4 DATE May 21, 2015



DETAIL SITE PLAN



APPLICATION NUMBER 4 DATE May 21, 2015

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