

TYLER RIDGE APARTMENTS SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance.

The plat illustrates the proposed 2 lot, 22.2 \pm acre subdivision which is located at the South terminus of Victoria Drive, extending to the North side of Thomas Road. The subdivision is served by public water and sanitary sewer.

The purpose of this application is to create a 2-lot subdivision from a 22.2 acre \pm parcel.

The site fronts two minor streets, Victoria Drive and Thomas Road. Victoria Drive, which stubs into the Northern boundary of the site, has a right-of-way width of 50-feet, but lacks curb and gutter (the pavement ends in a cul-de-sac within the existing right-of-way). Thomas Road, forming the Southern boundary of the site, is labeled on the preliminary plat as having a right-of-way width of 50-feet, however, staff is not able to verify this width. Thomas Road is not paved, thus it must be improved to Mobile County standards (i.e. paved) prior to the signing and recording of the final plat, if approved. Furthermore, sufficient right-of-way must be dedicated to Mobile County to provide 25-feet as measured from the centerline (if the road is improved with curb-and-gutter), or 30-feet as measured from the centerline of Thomas Road (if road is improved without curb-and-gutter).

Access to the proposed lots should be limited as follows: proposed Lot 1 should be limited to one curb-cut to Victoria Drive, and one curb-cut onto Thomas Road; proposed Lot 2 should be limited to two curb-cuts onto Thomas Road. The size, design and location of all curb-cuts must be approved by Mobile County Engineering.

Future subdivision of the proposed Lot 1 may require the construction of a public street into to the lot in order to provide additional frontage onto a public street.

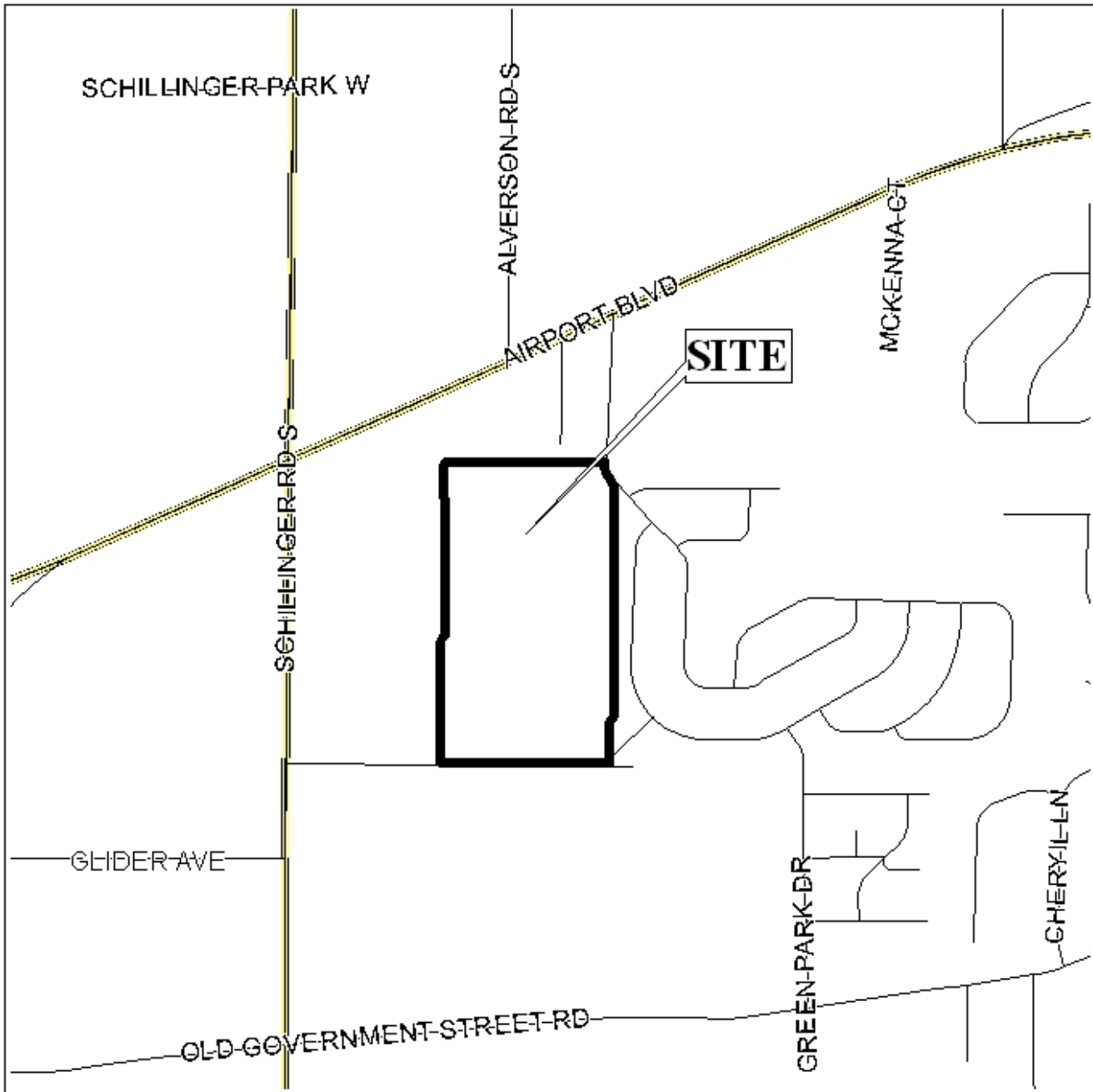
The site slopes from West to East, and the preliminary plat depicts existing drainage easements and "concrete flues" from an adjacent retail center development. Drainage from the site under consideration leaves a detention pond and appears to flow East towards an existing mobile-home residential development. Therefore, it should be noted that development of the site may exacerbate drainage issues in the general vicinity, if appropriate stormwater management and site development is not undertaken.

There is an error in the written legal description where it refers to the section number (section 15, instead of the correct section 19). The written legal description should be corrected.

This site is located in Mobile County, thus a note should be placed on the Final Plat, if approved, stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations.

Based upon the preceding, the plat is recommended for Tentative Approval, subject to the following conditions: 1) improvement of Thomas Road to Mobile County standards along the entire Southern boundary of the site; 2) dedication of right-of-way sufficient to provide 30 feet, as measured from the centerline of Thomas Road, if improvements to Thomas Road do not include curb-and-gutter, or 25 feet to centerline if improvements do include curb-and-gutter; 3) placement of a note on the final plat stating that Lot 1 is limited to one curb-cut to Victoria Drive and one curb-cut onto Thomas Road, and that Lot 2 is limited to two curb-cuts onto Thomas Road, with the size, design and location to be approved by the Mobile County Engineering Department; 4) placement of a note on the final plat stating that Lot 1 is required to connect to Victoria Drive and to Thomas Road; 5) correction of the written legal description; and 6) placement of a note on the plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations.

LOCATOR MAP



APPLICATION NUMBER 4 DATE September 21, 2006

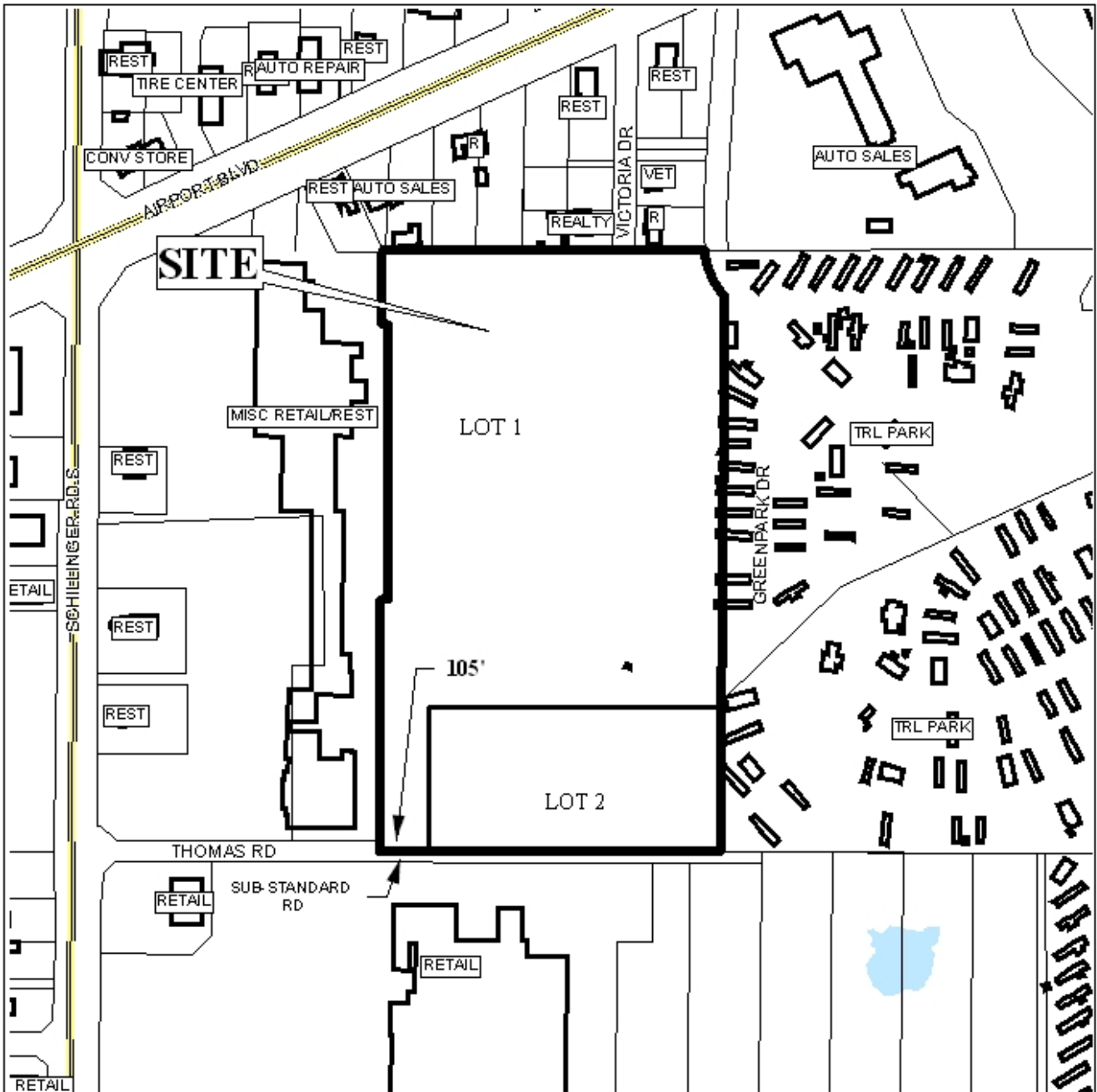
APPLICANT Tyler Ridge Apartments Subdivision

REQUEST Subdivision



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TYLER RIDGE APARTMENTS SUBDIVISION



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LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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