

THE BROADWAY GROUP SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. New public roads shall be constructed and paved to standards for County Maintenance, and accepted by Mobile County, while new private roads shall be constructed and paved to minimum County or Subdivision Regulation standards, whichever are greater.

Fire-Rescue Department Comments: Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code. (2012 IFC).

MAWSS Comments: MAWSS has **no** water or sewer services available.

The plat illustrates the proposed 2-lot, 4.8± acres subdivision which is located on the Northwest corner of Dauphin Island Parkway and Fowl River Road. The site is within the Planning Jurisdiction and the applicant states that the subdivision is served by Mobile County water and individual septic tanks.

The purpose of this application is to create two legal lots of record from three metes-and-bounds parcels and a single legal lot of record.

The site has frontage along Dauphin Island Parkway, a collector street, and Fowl River Road, a minor street without curb and gutter. As a collector street, Dauphin Island Parkway should have a minimum right-of-way of 70'; the preliminary plat illustrates a compliant right-of-way of 80', making no dedications necessary. Fowl River Road is illustrated as having an existing right-of-way of 60', making no dedications necessary. Dedication of the corner radii at Dauphin Island Parkway and Fowl River Road should be required per Section V.D.6. of the Subdivision Regulations.

Access management is a concern, therefore each lot should be limited to one curb cut per street with the size, location, and design to be approved by the Mobile County Engineering Department and conform to AASHTO standards.

The 25-foot minimum building setback line is not depicted. This should be illustrated for both lots, along all frontages on the Final Plat, if approved.

The lot size is indicated in square feet and acres on the preliminary plat and should be retained on the Final Plat, if approved.

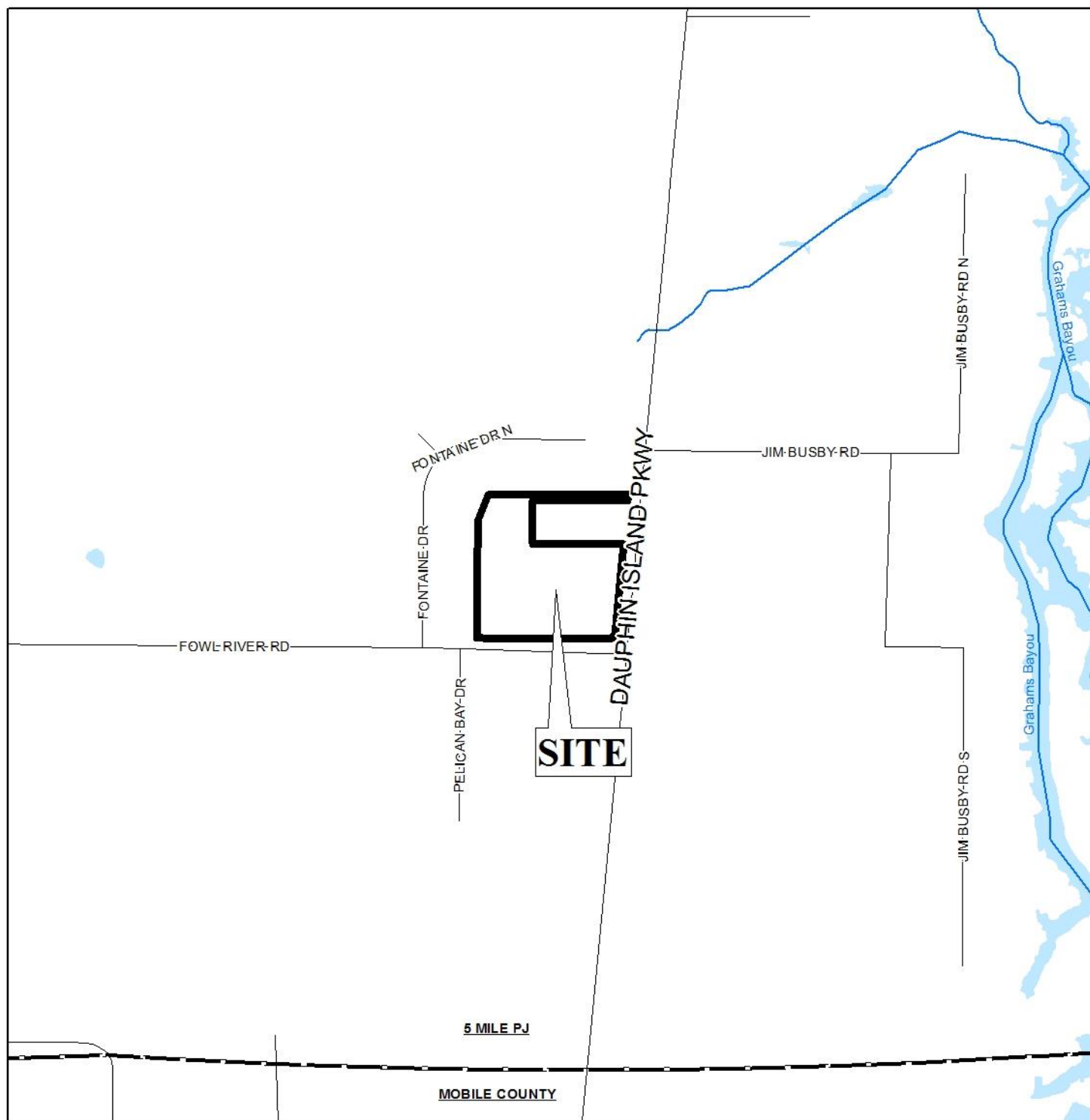
There are two ingress/egress easements on the site, as well as an Alabama Power easement located on the site. If approved, a note should be placed on the Final Plat stating no structures shall be constructed or placed within any easements.

This site is located in the County, thus any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. A note regarding this requirement should also appear on the Final Plat, if approved.

The plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval, subject to the following conditions:

- 1) dedication of the corner radii at Dauphin Island Parkway and Fowl River Road per Section V.D.6. of the Subdivision Regulations
- 2) illustration of the 25' minimum building setback line along all frontages;
- 3) placement of a note on the Final Plat stating that each lot should be limited to one curb-cut per street with the size, location, and design to be approved by the Mobile County Engineering Department and conform to AASHTO standards;
- 4) retention of the lot sizes in square feet and acres, or provision of a table on the plat depicting the same information;
- 5) placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations;
- 6) placement of a note on the Final Plat stating no structures shall be constructed or placed in any easements;
- 7) compliance with Fire comments (*Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code. (2012 IFC).*) and
- 8) placement of a note on the Final Plat stating that development will be designed to comply with the stormwater detention and drainage facilities of the City of Mobile stormwater and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the stormwater detention and drainage facilities of the City of Mobile stormwater and flood control ordinances prior to the issuance of any permits. Certification to be submitted to the Planning and Zoning and County Engineering.

LOCATOR MAP



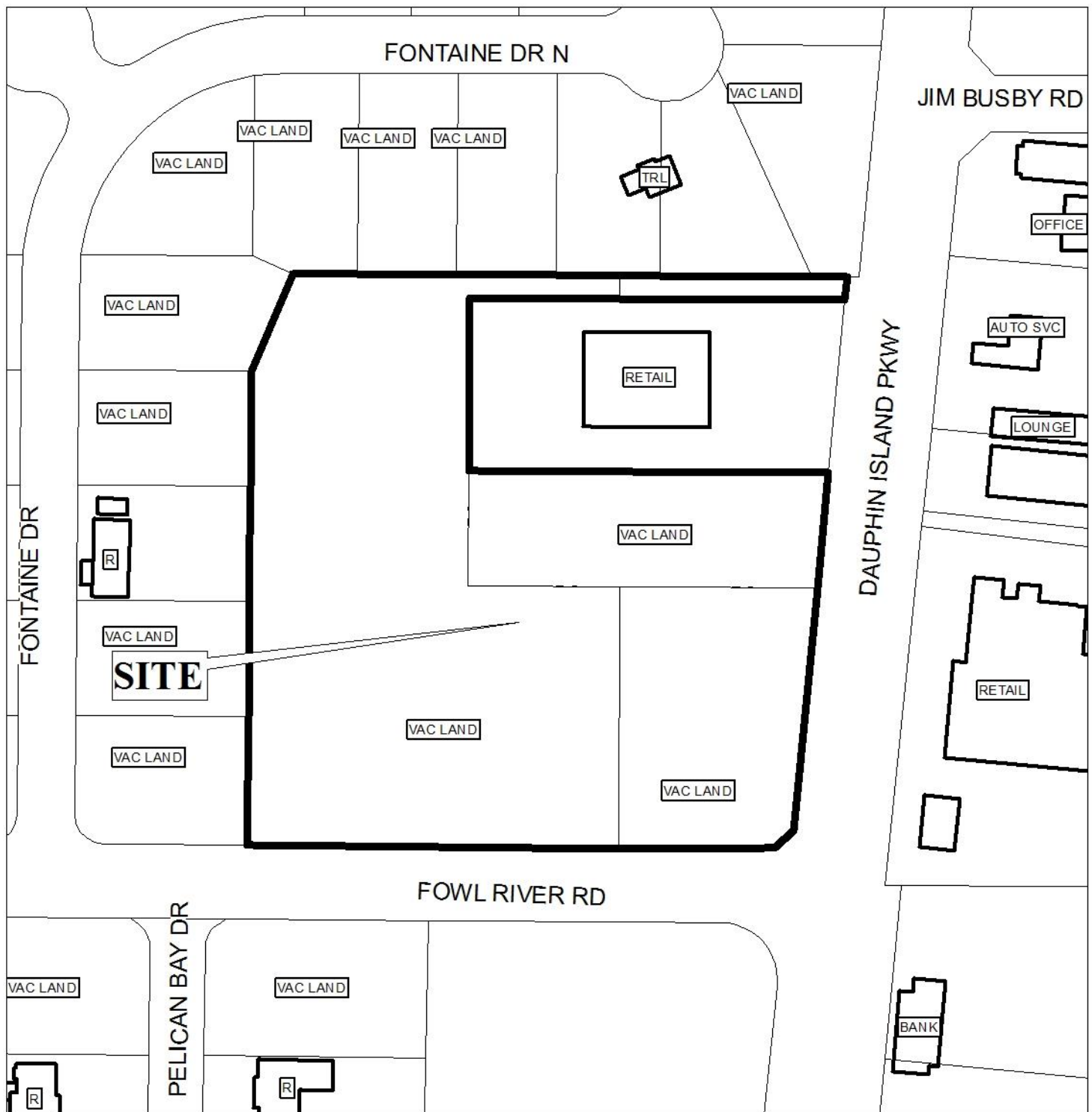
APPLICATION NUMBER 4 DATE July 21, 2016

APPLICANT The Broadway Group Subdivision

REQUEST Subdivision



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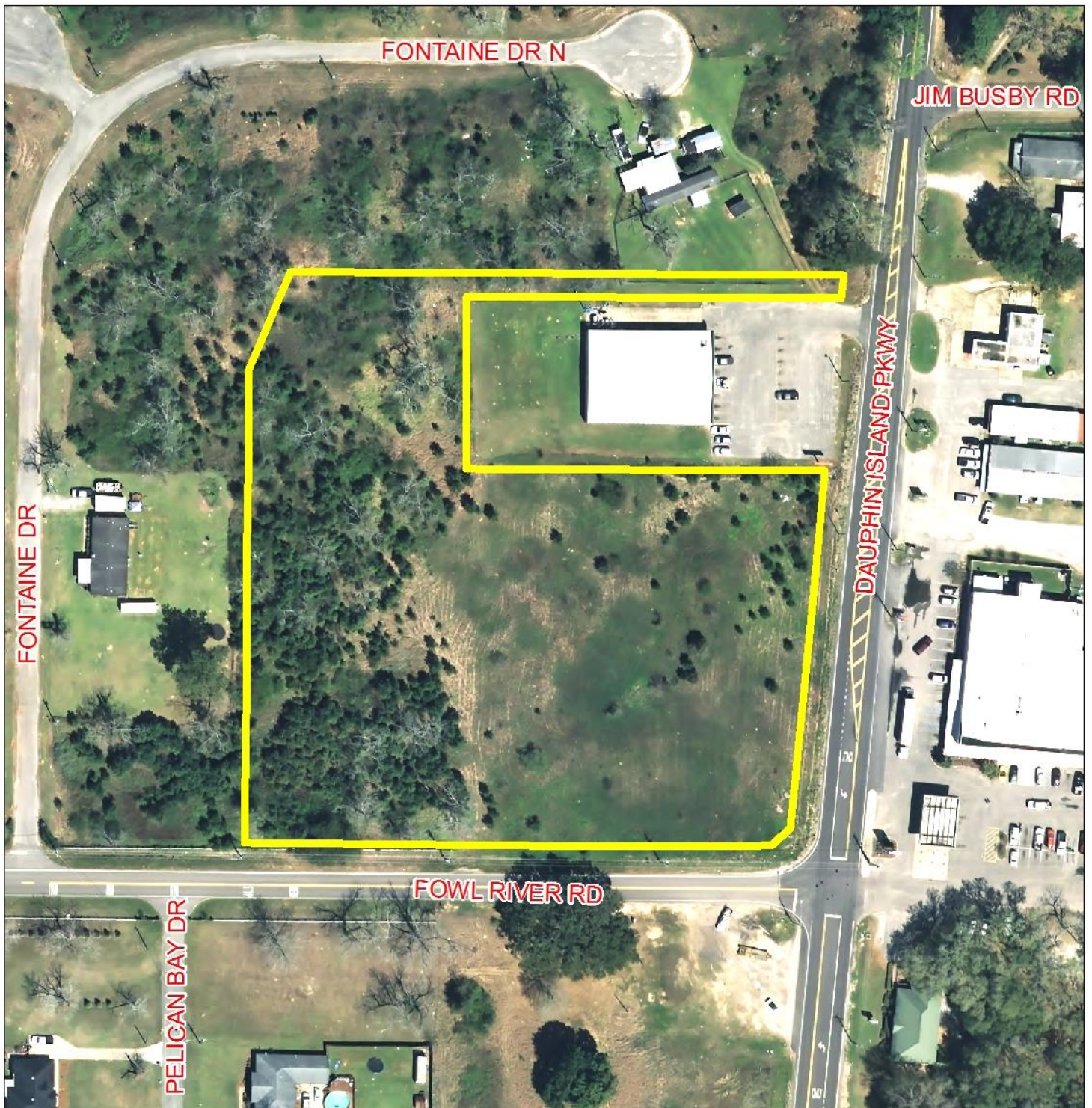


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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



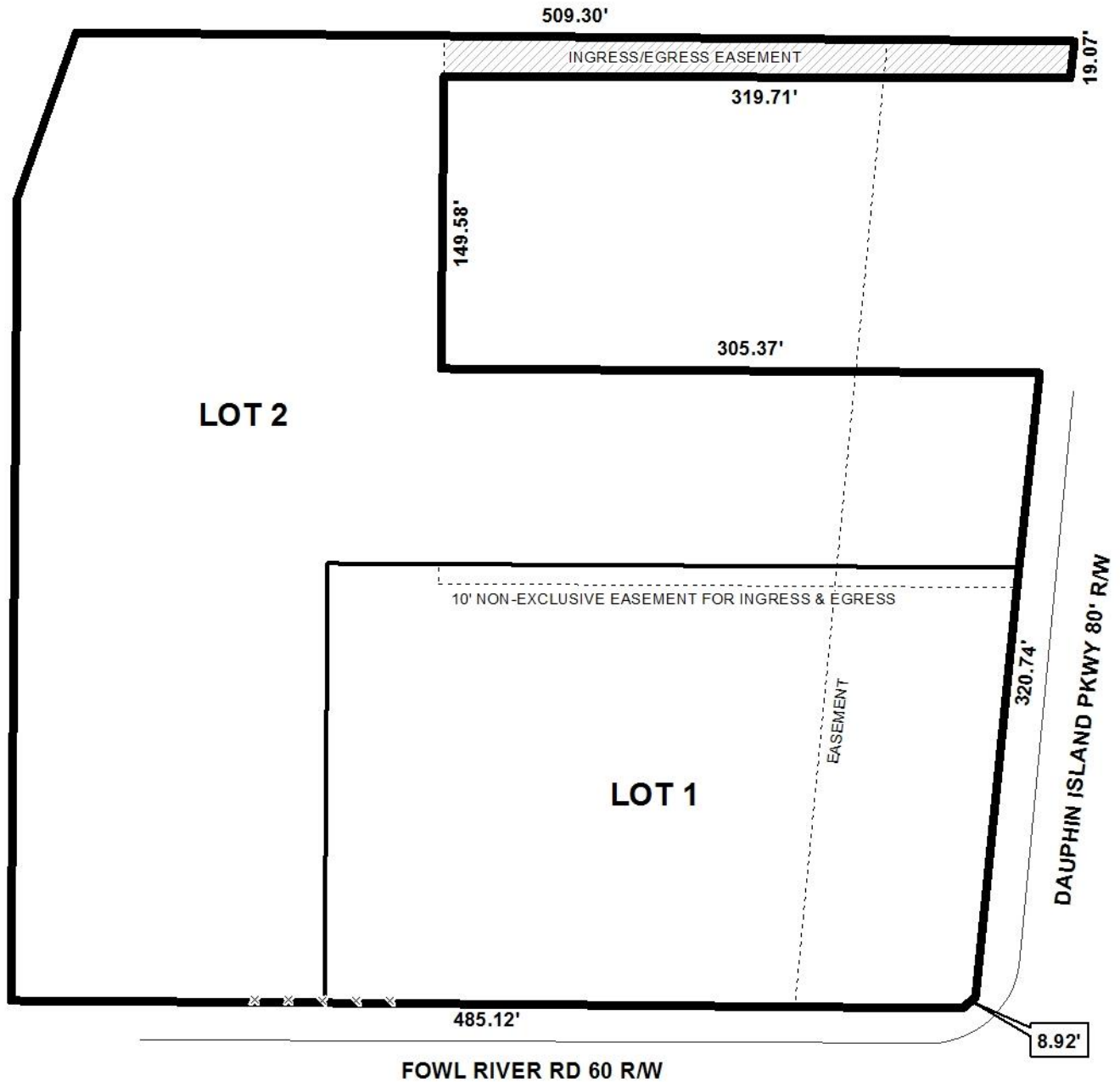
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DETAIL SITE PLAN



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REQUEST Subdivision



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