

SCHIAVONI SUBDIVISION,

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire-Rescue Department Comments: All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).

MAWSS Comments: No comments.

The preliminary plat illustrates the proposed 1-lot, 1.0± acre subdivision which is located on the West side of Rabbit Creek Drive, 150'± North of Schwartz Lane. The site is within the Planning Jurisdiction and the applicant states that the subdivision is served by public water and sewer systems. The purpose of this application is to create one legal lot of record from a metes-and-bounds parcel.

This site is an existing parcel comprised of a portion of two lots associated with the Hollinger Island Rabbit Creek Division, Block 2 Subdivision.

The proposed lot fronts Rabbit Creek Drive, a minor street without curb and gutter. As a minor street without curb and gutter, this street requires a 60' wide right-of-way width. The existing right-of-way width is depicted as 60' on the preliminary plat and should be retained on the Final Plat, if approved.

The 25-foot minimum building setback line is depicted on the preliminary plat, and, if approved, should be retained on the Final Plat.

The lot size information is depicted in both square feet and in acres on the preliminary plat and should be retained on the Final Plat, if approved. The lots meet the minimum lot size requirements for sites with public water and sewer.

Due to the limited, but compliant lot width as a means of access management, a note should be placed on the Final Plat, if approved, stating that the lot is limited to one curb cut to Rabbit Creek Drive, with any changes to the size, design and location of the curb-cut to be approved by Mobile County Engineering and conform to AASHTO standards.

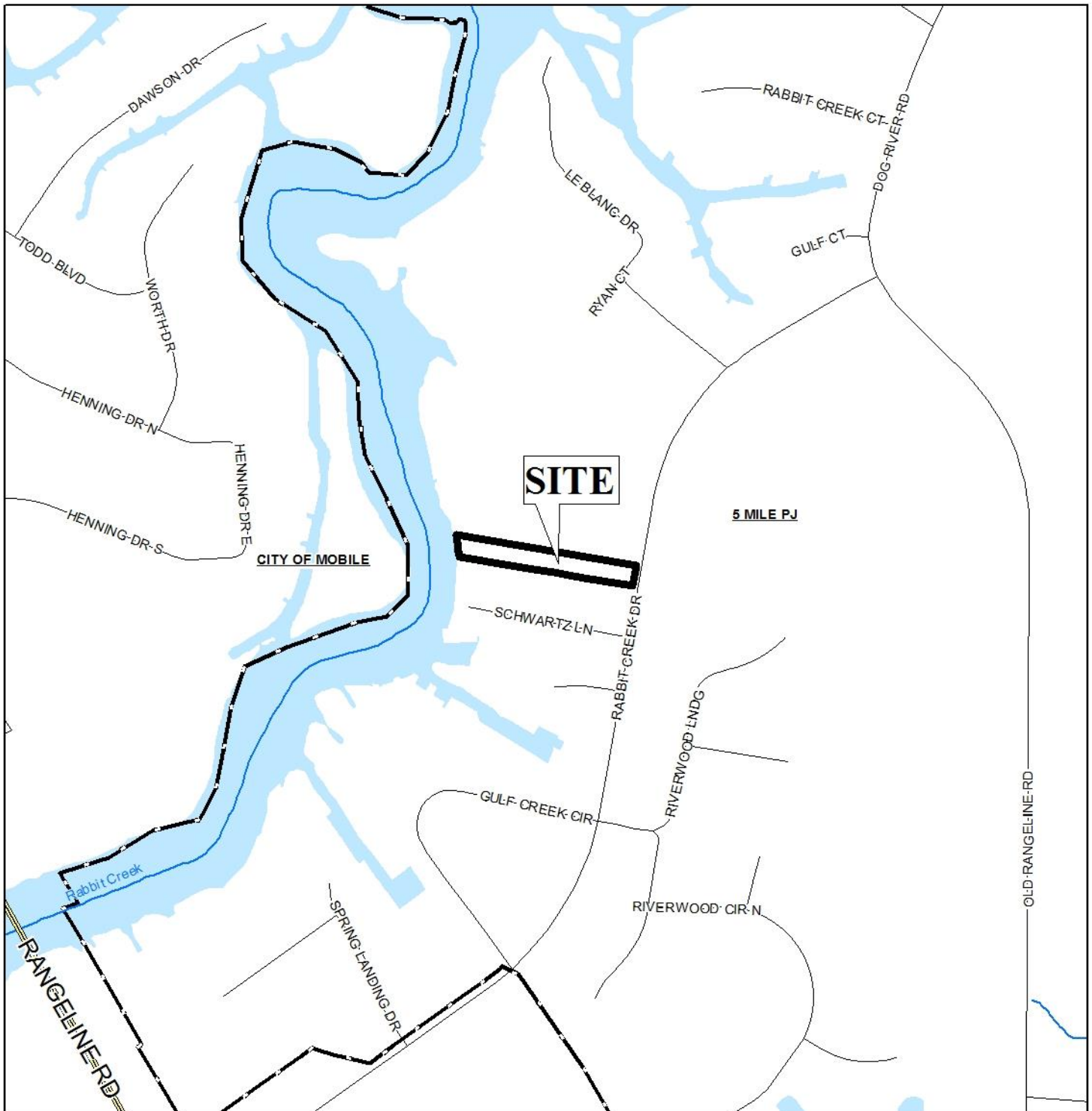
The lot is approximately 73' wide and 600' deep. As such, the lot exceeds the width to depth ratio of Section V.D.3. of the Subdivision Regulations. Due to the proximity of the site to Rabbit Creek, long narrow properties are not unusual, thus a waiver of Section V.D.3. may be appropriate.

This site is located in the County; therefore, any lots which are developed commercially and adjoin residentially-developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. A note should be placed on the Final Plat, if approved.

Based upon the preceding and with a waiver of Section V.D.3. of the Subdivision Regulations, this application is recommended for Approval, subject to the following conditions:

- 1) Retention of the 60' wide right-of-way width along Rabbit Creek Drive;
- 2) Retention of the 25-foot minimum setback line along Rabbit Creek Drive;
- 3) Retention of the lot size information in both square feet and in acres;
- 4) Placement of a note on the Final Plat stating the lot is limited to one curb cut to Rabbit Creek Drive, with any changes to the size, design and location of the curb-cuts to be approved by Mobile County Engineering and conform to AASHTO standards;
- 5) Placement of a note on the Final Plat stating this site is located in the County, and therefore any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations;
- 6) Compliance with Engineering comments: *(Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.);and,*
- 7) Compliance with Fire Department comments and placement of a note *(All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC)).*

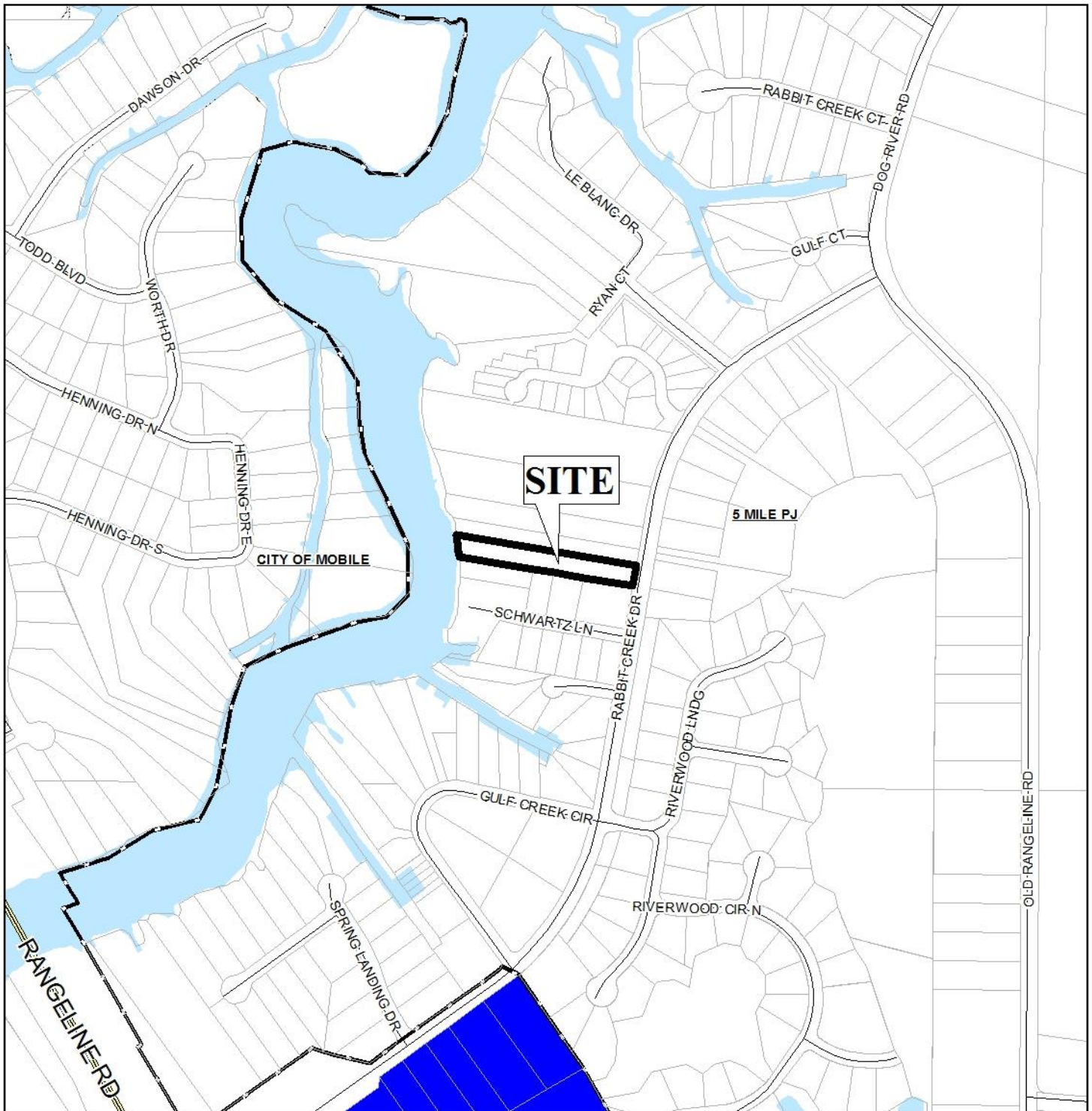
LOCATOR MAP



APPLICATION NUMBER 4 DATE September 21, 2017
APPLICANT Schiavoni Family Division Subdivision
REQUEST Subdivision



LOCATOR ZONING MAP



APPLICATION NUMBER 4 DATE September 21, 2017

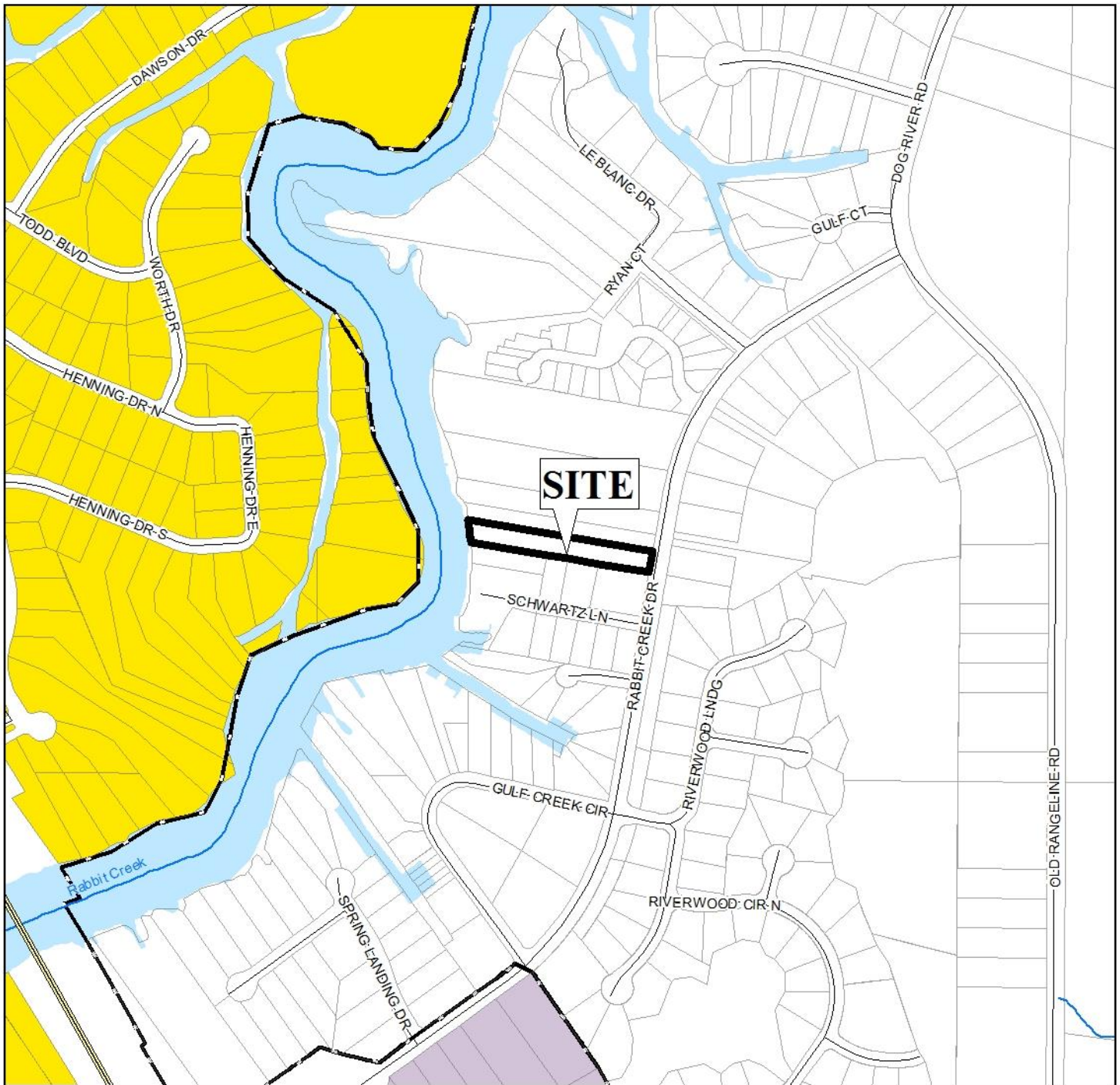
APPLICANT Schiavoni Family Division Subdivision

REQUEST Subdivision



NTS

FLUM LOCATOR MAP



APPLICATION NUMBER 4 DATE September 21, 2017

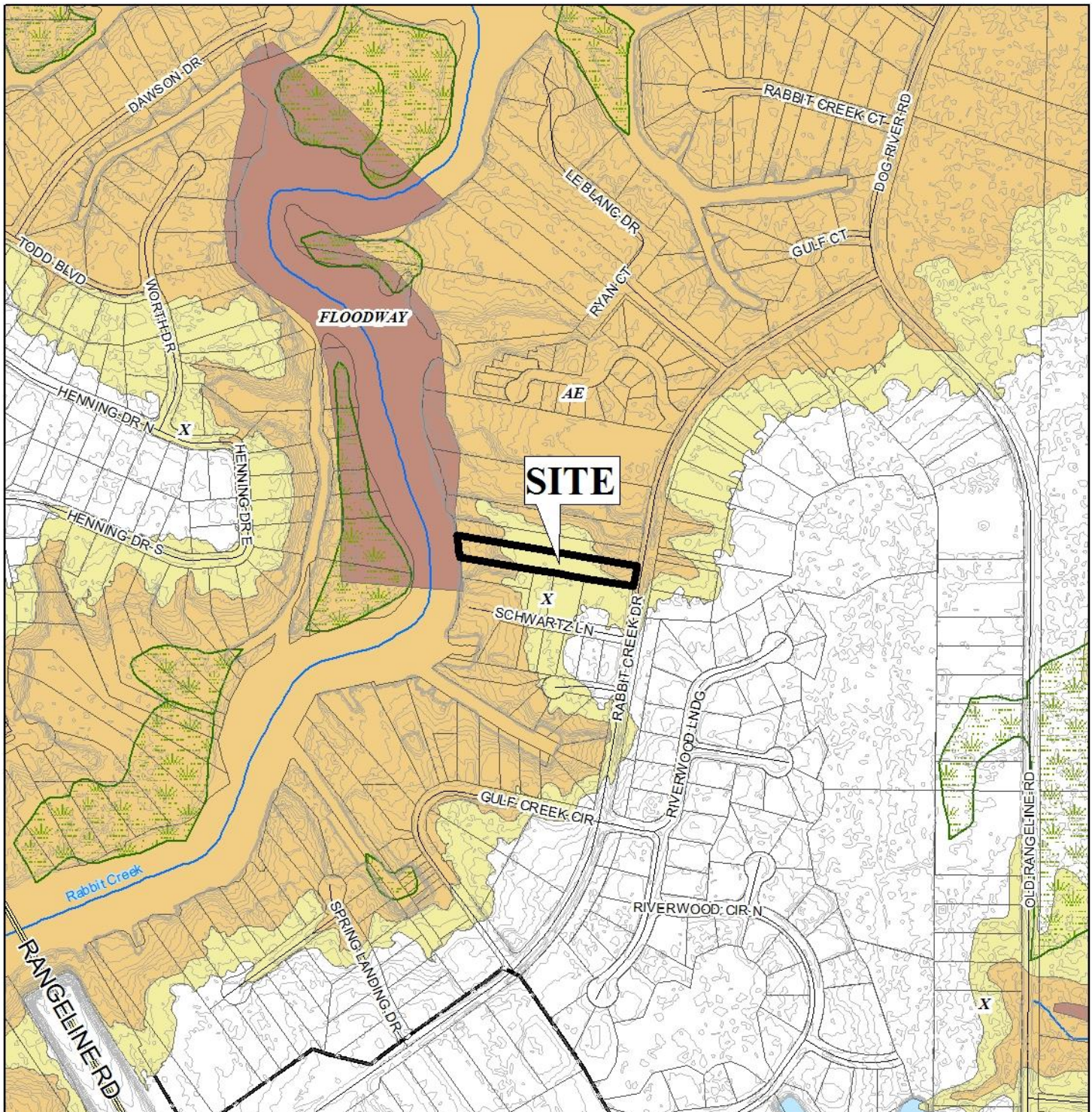
APPLICANT Schiavoni Family Division Subdivision

REQUEST Subdivision

- | | | | |
|---|---|--|--|
| Low Density Residential | Neighborhood Center- Traditional | Downtown Waterfront | Water Dependent |
| Mixed Density Residential | Traditional Corridor | Light Industry | Parks & Open Space |
| Downtown | Neighborhood Center- Suburban | Heavy Industry | |
| District Center | Mixed Commercial Corridor | Institutional | |



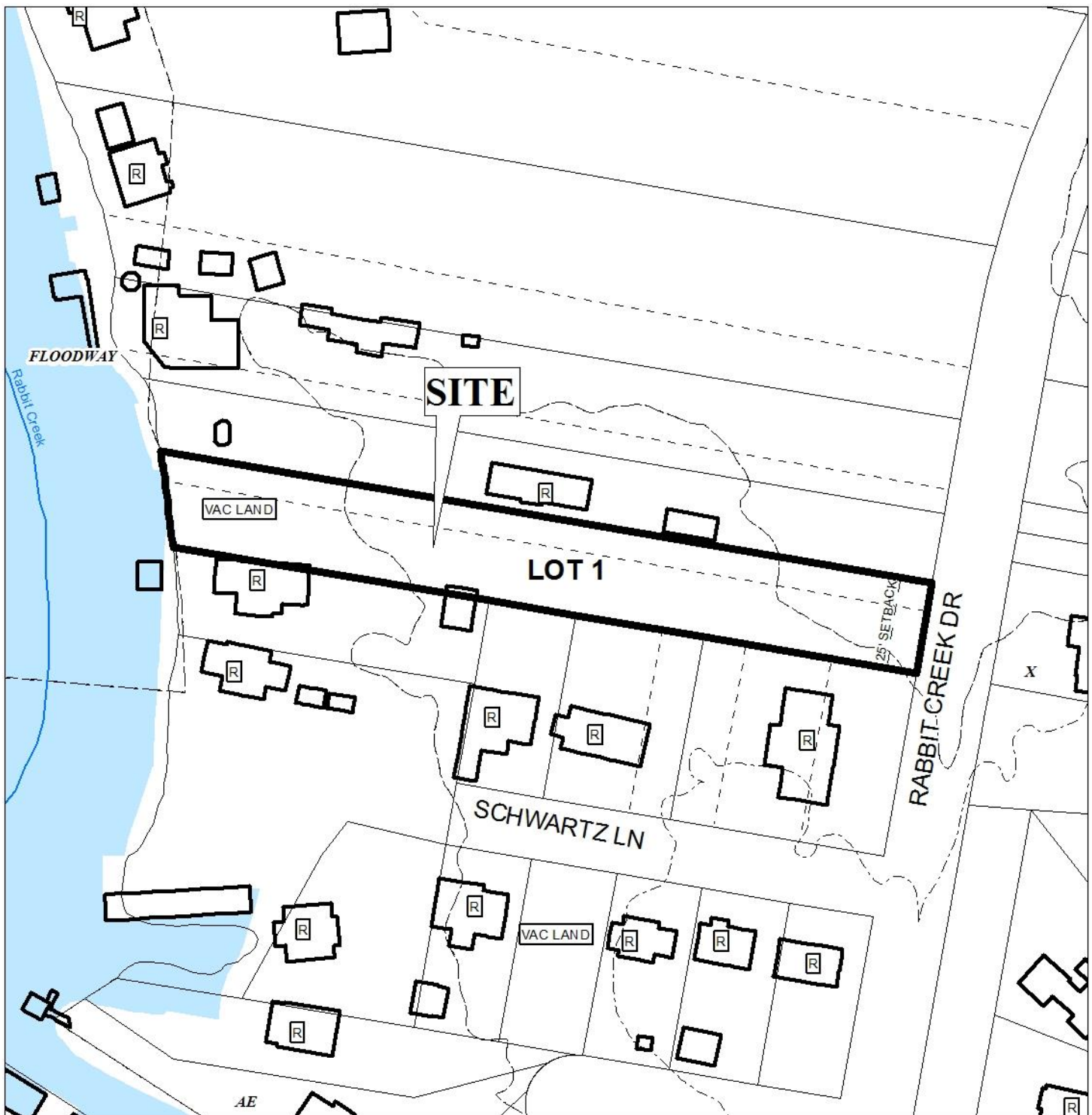
ENVIRONMENTAL LOCATOR MAP



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APPLICANT Schiavoni Family Division Subdivision
REQUEST Subdivision



SCHIAVONI FAMILY DIVISION SUBDIVISION



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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



SCHIAVONI FAMILY DIVISION SUBDIVISION



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