

ROYAL CASTLE SUBDIVISION

Engineering Comments: The following comments should be addressed prior to review, acceptance and signature by the City Engineer:

1. Provide all of the required information on the Final Plat (i.e. signature blocks, signatures, certification statements, written legal description, required notes, north arrow, vicinity map, bearings and distances on all property lines) including the seal and signature of an Alabama Professional Land Surveyor.
2. Provide a signature block and signature from the Planning Commission, Owner(s) (notarized), and the Traffic Engineering Department.
3. Provide a signature block for the City Engineer and the County Engineer.
4. Add a note to the Plat stating that a Land Disturbance Permit will be required for any site improvements on the property. These improvements may require storm water detention. The Permit submittal shall be in accordance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045).
5. Add a note to the Plat that any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII).
6. Add a note to the Plat stating that any work performed within this development must comply with all Engineering Department Policy Letters.

Traffic Engineering Comments: Site is limited to the one existing curb-cut, where any changes to size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWSS Comments: MAWSS has water and sewer services available, but a Capacity Assurance application for sewer service has not been applied for. MAWSS cannot guarantee sewer service until the Capacity application is approved by Volkert Engineering Inc.

The plat illustrates the proposed 2.2 acre \pm , 1 lot subdivision which is located on the West side of Azalea Road, 315' \pm North of Halls Mill Road, and is in Council District 4. The applicant states that the subdivision is served by public water and a septic system.

The purpose of this application is to create one legal lot from two tax parcels. The Subdivision application is a result of a Planned Unit Development approval granted by the Planning Commission at its May 2, 2013 meeting: a condition of approval was an application to create one legal lot via the Subdivision process.

The site fronts onto Azalea Road, a minor street with an existing right-of-way of 100 feet. No dedication will be required for the site, as the existing right-of-way width is adequate.

Access to the site from Azalea Road is by a common driveway to one of the existing parcels (due to an existing drainage ditch which prevents a second driveway to the site). The proposed lot should be limited to the existing curb-cut, with any changes to the size or location to be approved by Traffic Engineering and to conform to AASHTO standards.

The property was purchased by the current owner in September 1992, according to the deed. It appears that at some point the legal lot (Lot 1, Sunset Ranch Subdivision, recorded in 1951) was divided into two parcels, with one parcel containing one residential structure, and the other parcel containing three buildings containing various residential dwelling units. It is believed that the parcel division may have occurred to allow a homestead exemption claim.

The 25-foot minimum building setback line, required in Section V.D.9., is not shown for the subdivision, but would be required on the final plat, if approved. It should be noted that the original subdivision from 1951 had a 35-foot minimum building setback line.

It appears that a portion of the site may contain floodplains associated with Moore Creek and Montlimar Creek. The potential presence of floodplains indicate that the area may be environmentally sensitive; therefore, the approval of all applicable federal, state and local agencies would be required prior to the issuance of any permits or land disturbance activities. The plat should also be revised to depict the appropriate flood zones and finished floor elevations, as may be required by the Engineering Department.

The plat does not include the lot size information, in square feet or acres. The plat should be revised to include lot size information in square feet.

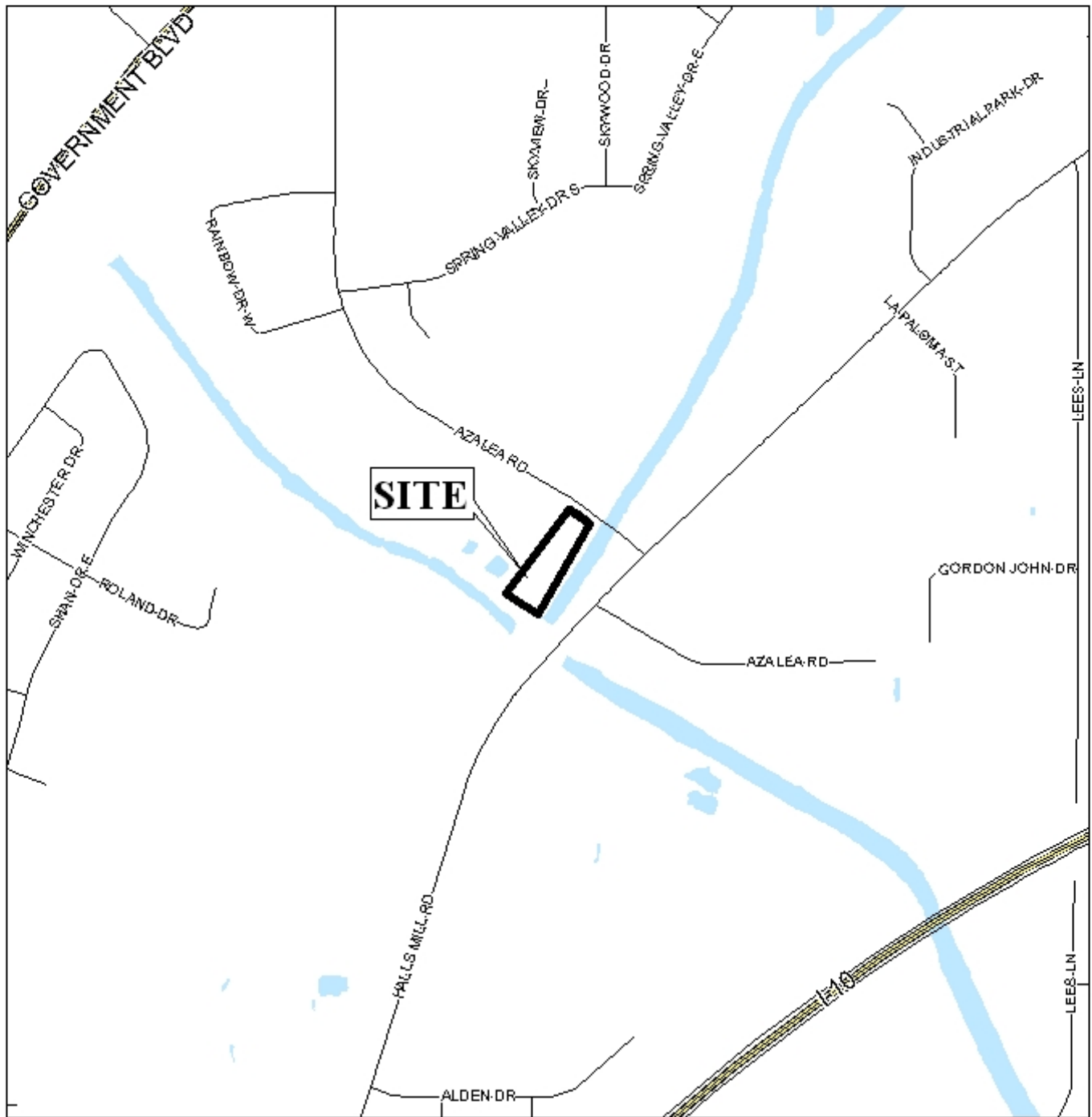
The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Based upon the preceding, the application is recommended for Tentative Approval, subject to the following conditions:

- 1) placement of a note on the final plat stating that the lot is limited to its existing single curb-cut, with any changes to the size, design and location to be approved by Traffic Engineering, and to conform to AASHTO standards;
- 2) depiction of the 25-foot minimum building setback line, as required by Section V.D.9. of the Subdivision Regulations;
- 3) the labeling of the lot with its size in square feet;

- 4) compliance with Engineering comments (*The following comments should be addressed prior to review, acceptance and signature by the City Engineer: 1. Provide all of the required information on the Final Plat (i.e. signature blocks, signatures, certification statements, written legal description, required notes, north arrow, vicinity map, bearings and distances on all property lines) including the seal and signature of an Alabama Professional Land Surveyor. 2. Provide a signature block and signature from the Planning Commission, Owner(s) (notarized), and the Traffic Engineering Department. 3. Provide a signature block for the City Engineer and the County Engineer. 4. Add a note to the Plat stating that a Land Disturbance Permit will be required for any site improvements on the property. These improvements may require storm water detention. The Permit submittal shall be in accordance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045). 5. Add a note to the Plat that any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). 6. Add a note to the Plat stating that any work performed within this development must comply with all Engineering Department Policy Letters.);*
- 5) compliance with Traffic Engineering comments (*Site is limited to the one existing curb-cut, where any changes to size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.);*
- 6) compliance with Urban Forestry comments (*Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64));*
- 7) compliance with Fire comments (*All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.);*
- 8) approval of all applicable federal, state and local agencies regarding floodplain issues prior to the issuance of any permits or land disturbance activities;
- 9) placement of a note on the plat stating that approval of all applicable Federal, state and local agencies is required for endangered, threatened or otherwise protected species, if any, prior to the issuance of any permits or land disturbance activities; and
- 10) full compliance with all other municipal codes and ordinances.

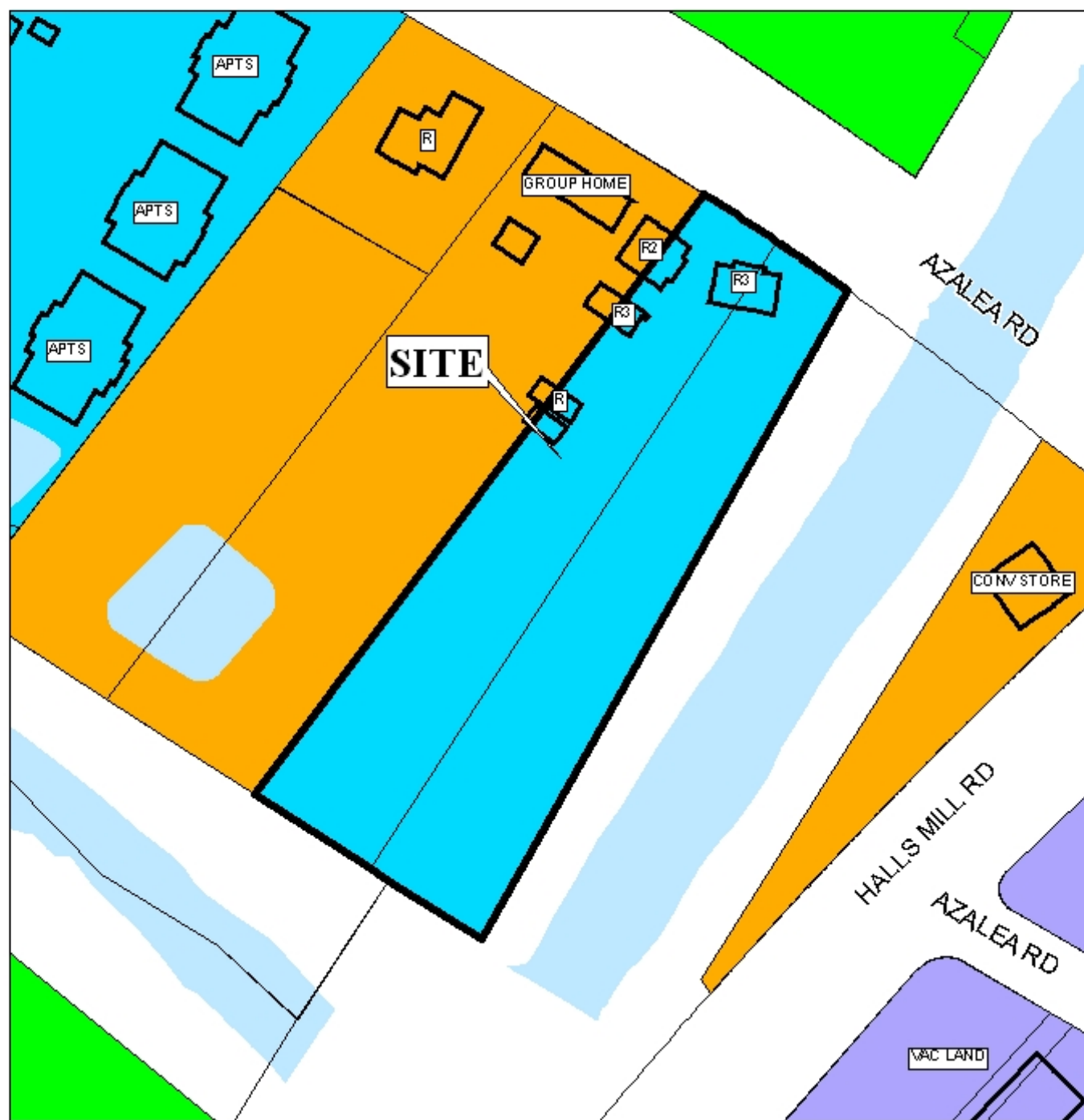
LOCATOR MAP



APPLICATION NUMBER 4 DATE August 8, 2013
APPLICANT Royal Castle Subdivision
REQUEST Subdivision



ROYAL CASTLE SUBDIVISION



APPLICATION NUMBER 4 DATE August 8, 2013

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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NTS

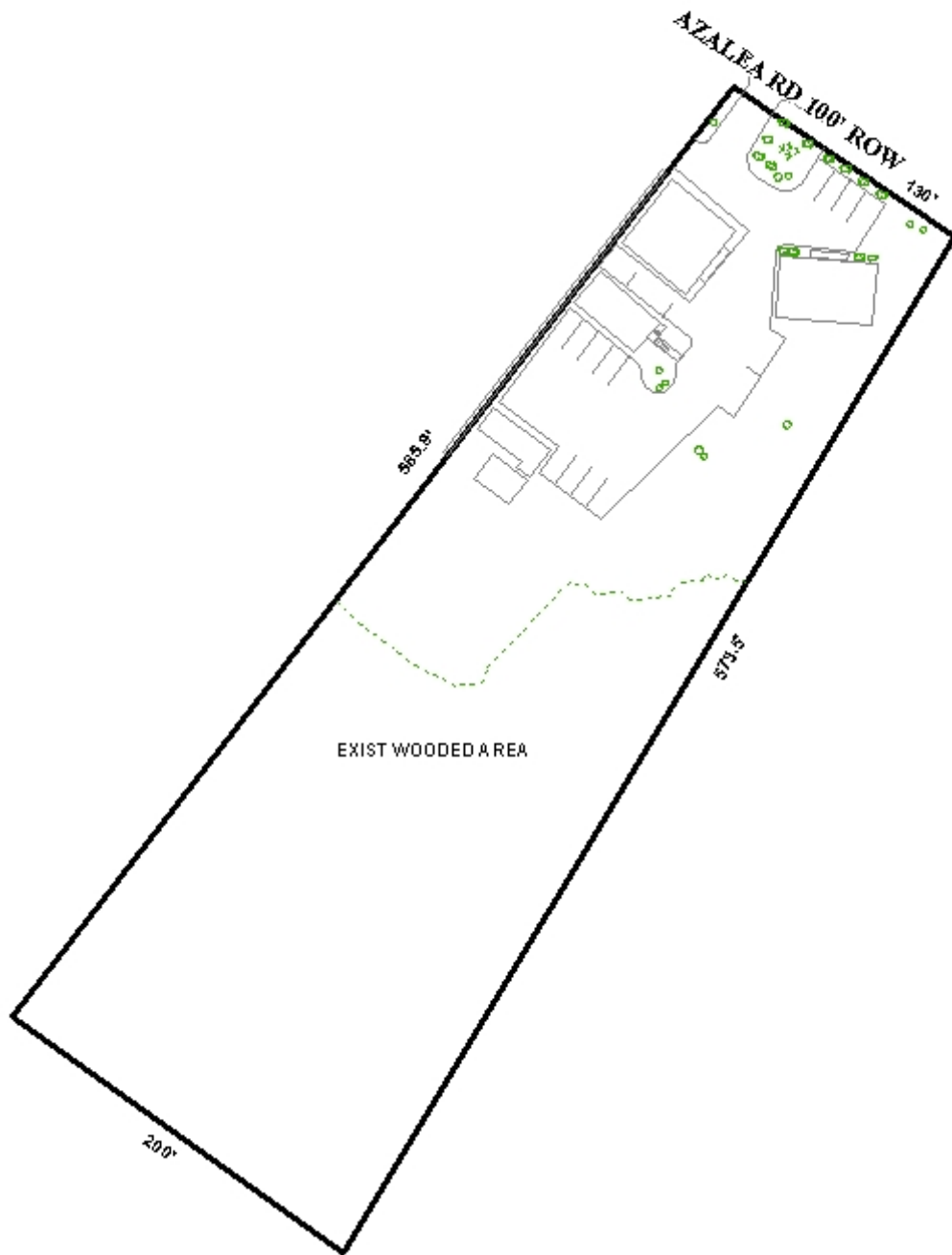
ROYAL CASTLE SUBDIVISION



APPLICATION NUMBER 4 DATE August 8, 2013



DETAIL SITE PLAN



APPLICATION NUMBER 4 DATE August 8, 2013
APPLICANT Royal Castle Subdivision
REQUEST Subdivision

