

**RIVERWOOD ESTATES SUBDIVISION,**  
**RESUBDIVISION OF LOT 43 & 44**

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. New public roads shall be constructed and paved to standards for County Maintenance, and accepted by Mobile County, while new private roads shall be constructed and paved to minimum County or Subdivision Regulation standards, whichever are greater.

Fire-Rescue Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWSS Comments: MAWSS has water and sewer services available.

The plat illustrates the proposed 2-lot, 0.8± acre subdivision which is located on the East side of Riverwood Circle East, 125'± South of Riverwood Place, and is located within the Planning Jurisdiction. The applicant states that the subdivision is served by both public water and sanitary sewer.

The purpose of this application is to slightly relocate the interior lot line between two legal lots of record.

The lot sizes are labeled in both square feet and acres, and the proposed lots would exceed the minimum size requirements of Section V.D.2. of the Subdivision Regulations. The lot sizes should remain in square feet and acres on the Final Plat, if approved.

Both proposed lots are illustrated as having minimum building setbacks of 25', as required by Section V.D.9. of the Subdivision Regulations. The setback should be illustrated on the Final Plat as well, if approved.

The site fronts onto Riverwood Circle East, a minor street with ribbon curb and gutter, and is illustrated as having a compliant 50' right-of-way, therefore no dedications should be required.

As a mean of access management, a note should be placed on the Final Plat stating that each lot is limited to one curb cut, with the size, design, and location of the curb cuts, to be approved by Mobile County Engineering and conform to AASHTO standards.

This site is located in the County, thus any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. A note regarding this requirement should appear on the Final Plat, if approved.

The site must comply with the City of Mobile storm water and flood control ordinances. Therefore, a note stating “Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.” should be placed on the Final Plat.

The Riverwood Subdivision is being developed in an area known to contain wetlands and floodplains, although it appears that these lots do not occur in delineated wetland or floodplain areas. None the less, the presence of wetlands and floodplains indicate that the area may be environmentally sensitive; therefore, the approval of all applicable federal, state and local agencies would be required prior to the issuance of any permits or land disturbance activities.

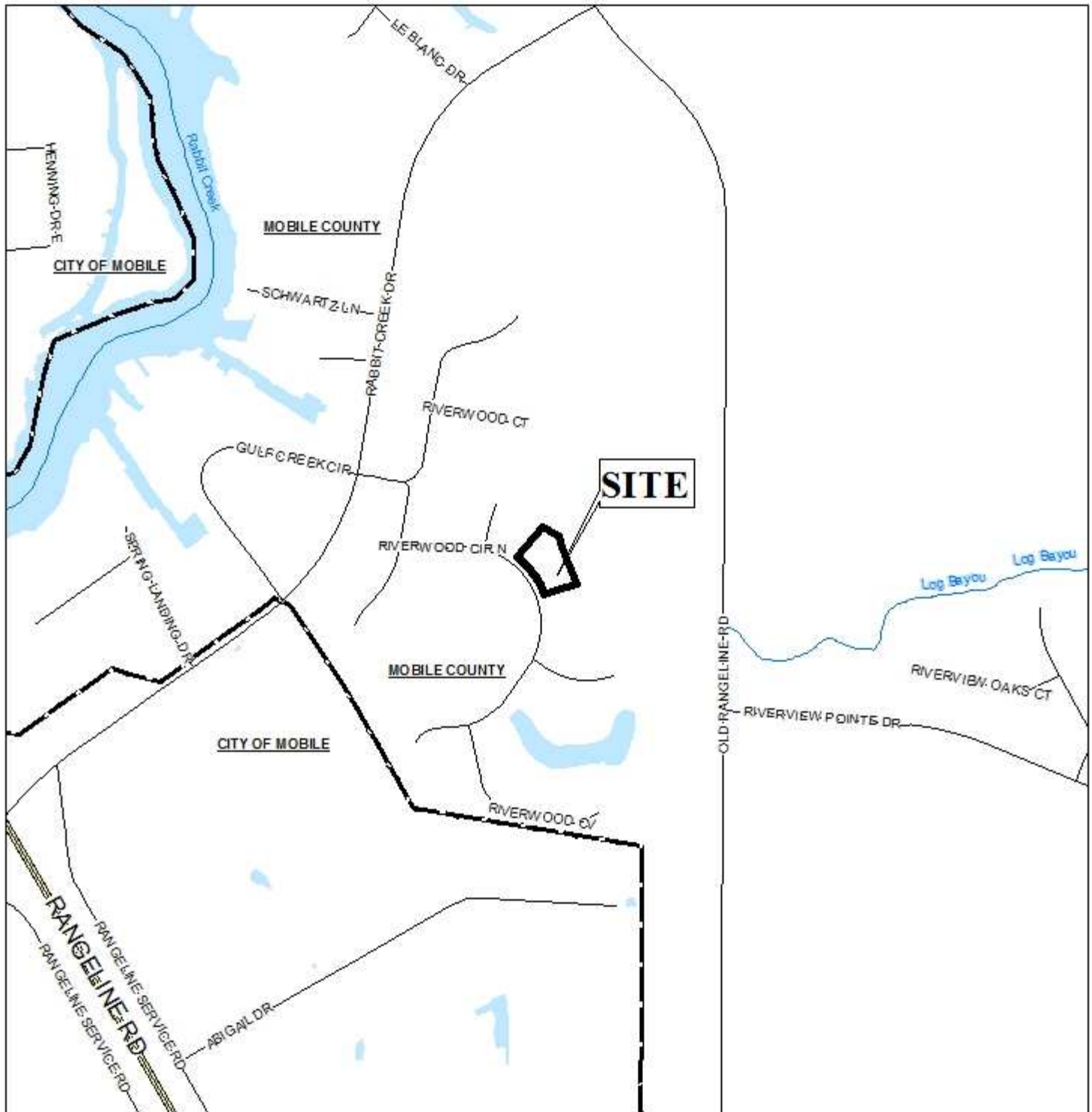
The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species. A note reflecting this requirement should appear on the Final Plat.

Based upon the preceding, the application is recommended for tentative approval, subject to the following conditions:

- 1) retention of the lot size, in square feet and acres, or provision of a table on the Final Plat with the same information;
- 2) retention of the minimum building setback line of at least 25’;
- 3) placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations;
- 4) placement of a note on the Final Plat stating the site must comply with the City of Mobile storm water and flood control ordinances: *(Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.);*
- 5) compliance with Fire Department comments *(All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.);*
- 6) placement of a note on the Final Plat stating that approval of all applicable Federal, state and local agencies is required for wetland issues, if any, prior to the issuance of any permits or land disturbance activities;
- 7) placement of a note on the Final Plat stating that each lot is limited to one curb cut, with the size, design, and location of the curb cuts to be approved by Mobile County Engineering and conform to AASHTO standards; and

- 8) placement of a note on the Final Plat stating that approval of all applicable federal, state, and local agencies is required for endangered, threatened, or otherwise protected species, if any, prior to the issuance of any permits or land disturbance activities.

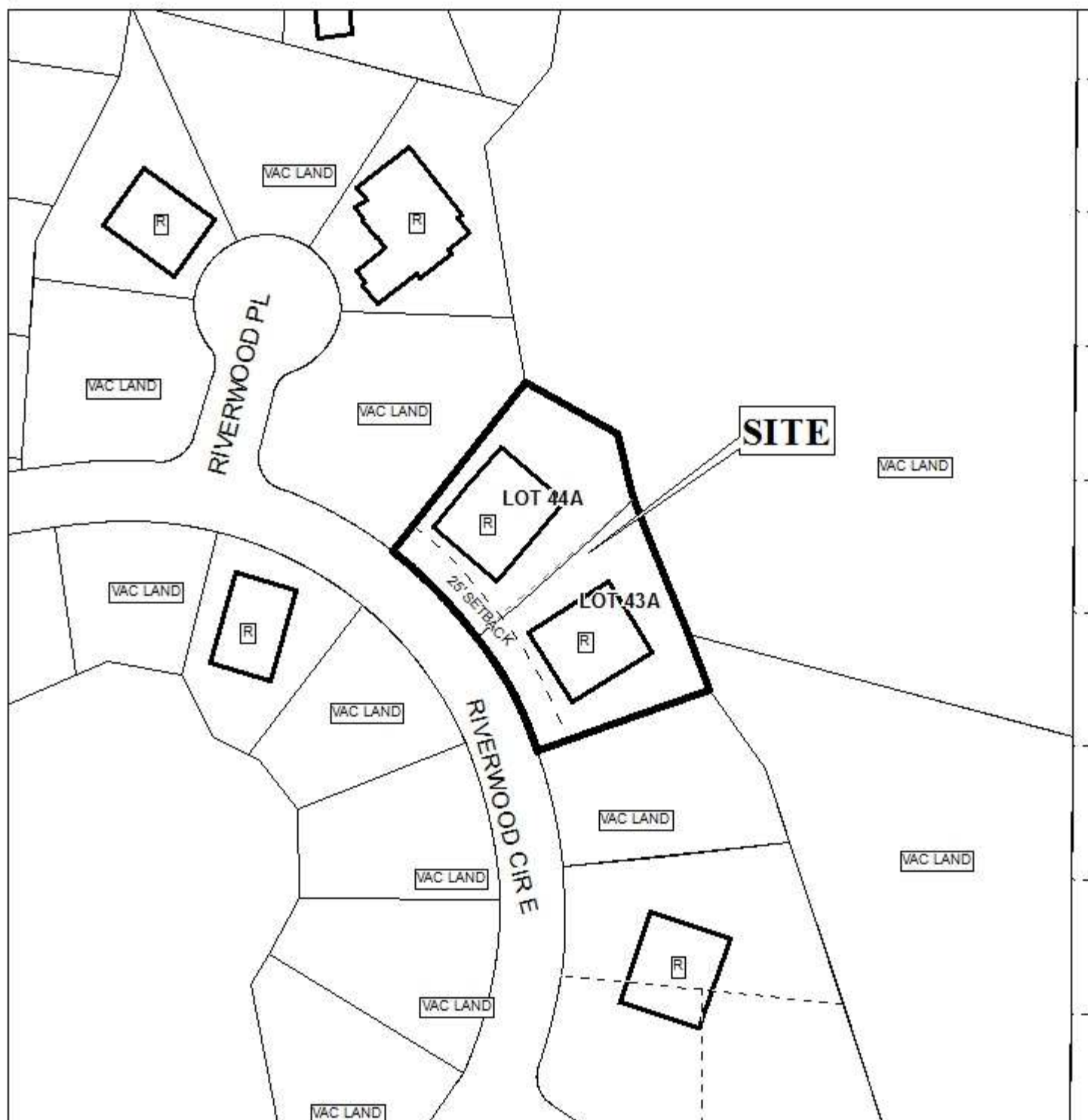
# LOCATOR MAP



APPLICATION NUMBER 4 DATE September 18, 2014  
APPLICANT Riverwood Estates Subdivision, Resubdivision of Lot 43 & 44  
REQUEST Subdivision



# RIVERWOOD ESTATES SUBDIVISION, RESUBDIVISION OF LOT 43 & 44



APPLICATION NUMBER 4 DATE September 18, 2014

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6





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