

MIDDLETON SUBDIVISION

Engineering Comments: The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. Add street names to the vicinity map.
- B. Check the labels or radius of curves C2, C3, and C7. Where is the west end of curve C2?
- C. GENERAL NOTE #5: Note refers to a LOT B; however, no LOT B is shown on the drawing.
- D. Review and revise the written legal description to include the “less and except” shown in the submitted Warranty Deed.
- E. Revise the plat to label each lot with its size in acres and square feet, or the furnishing of a table on the Plat providing the same information.
- F. Provide and label the monument set or found at each subdivision corner.
- G. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer.
- H. Provide the Surveyor’s Certificate and Signature.
- I. Provide the Surveyor’s, Owner’s (notarized), Planning Commission, and Traffic Engineering signatures.
- J. Provide a copy of the FINAL PLAT to the Engineering Dept. for review prior to obtaining any signatures.
- K. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.

Traffic Engineering Comments: Site is limited to one curb cut to Halls Mill Road, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City’s Zoning Ordinance.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code).

MAWSS Comments: MAWSS has water and sewer services available, but a Capacity Assurance application for additional sewer service has not been applied for. MAWSS cannot guarantee additional sewer service until a Capacity application is approved by Volkert Engineering, Inc.

The plat illustrates the proposed 1-lot, 3.0± acre subdivision, which is located on the West side of Halls Mill Road at the North terminus of Halls Mill Service Road, in Council District 4. The applicant states the site is served by city water and sewer services.

It should be noted that this site was recently approved by the Planning Commission at its meeting on April 2, 2015 to be re-subdivided from existing Lots 7, 8, and 9 into two legal lots of record. The Final Plat was signed by Planning staff on April 13, 2015, but it has apparently not been recorded in Mobile County Probate Court.

The purpose of this application is to re-subdivide two existing legal lots of record into one legal lot of record. Existing Lots 7 and 8 are vacant and would become Lot A.

The site fronts onto Halls Mill Road, a major street with a required 70' right-of-way width. The plat illustrates 36'± from the centerline of Halls Mill Road and indicates an existing 60' right-of-way width; however dedication does not appear necessary at this time, as the existing distance to the centerline is compliant. As a means of access management, a note should be required on the Final Plat stating that the lot is limited to one curb cut, with its size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

The lot meets the minimum area requirements of the Subdivision Regulations but exceeds the maximum width-to-depth ratio; therefore a waiver of Section V.D.3. will be required for approval. The plat should be revised to label the lot with its size in both square feet and acres, if dedication is required, or a table should be furnished on the Final Plat providing the same information.

The 25-foot minimum building setback is illustrated on the preliminary plat. If approved, this information should be retained on the Final Plat.

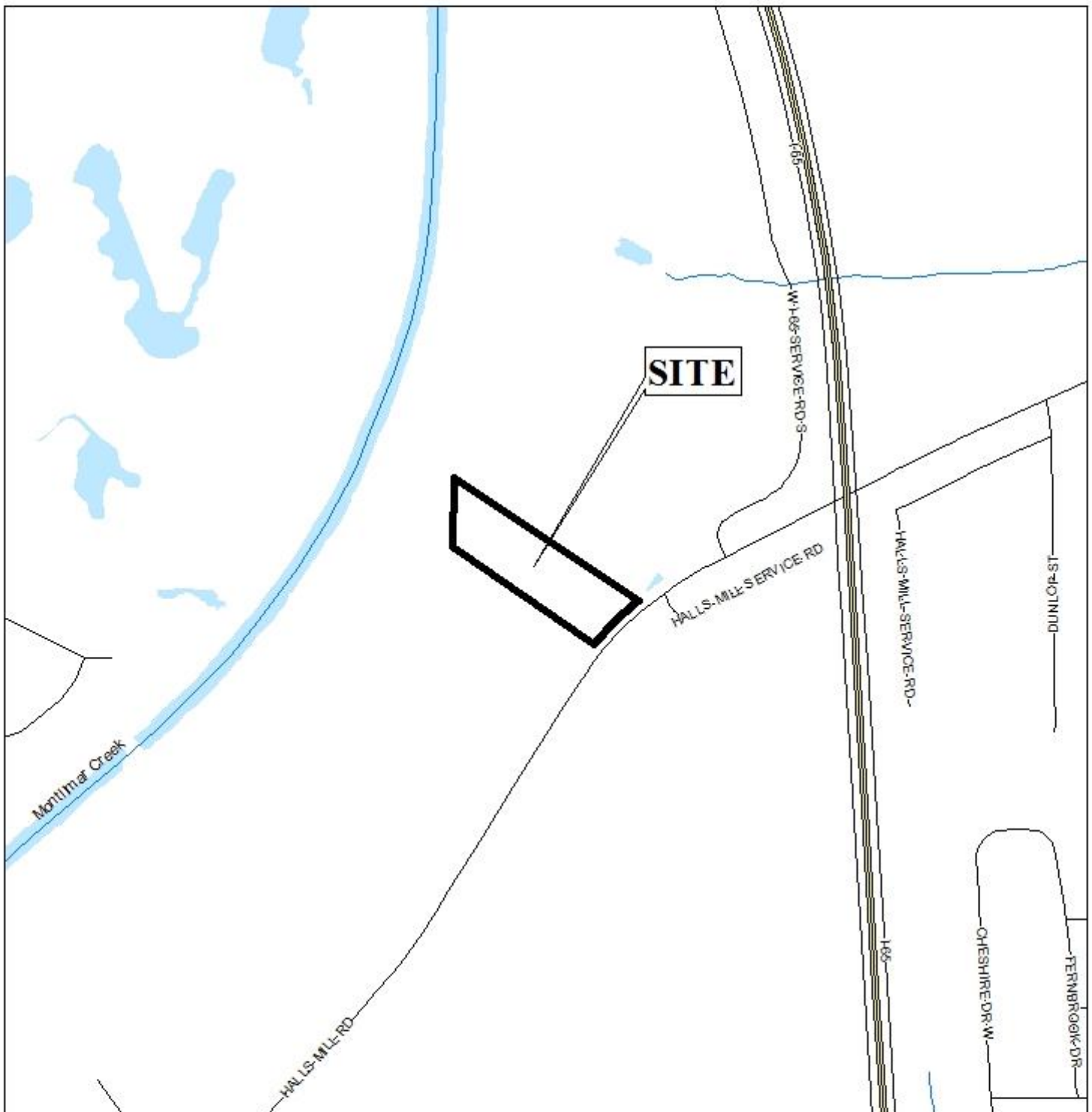
With a waiver of Section V.D.3., the plat meets the minimum requirements of the Subdivision Regulations and is recommended for tentative approval, subject to the following conditions:

- 1) placement of a note on the Final Plat stating that the Lot is limited to one curb cut, with its size, location and design to be approved by Traffic Engineering and conform to AASHTO standards;
- 2) revision of the plat to label the lot with its size in both square feet and acres, or the furnishing of a table on the Final Plat providing the same information;
- 3) retention of the 25' minimum building setback line along Halls Mill Road;
- 4) compliance with Engineering comments: *(The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer: A) Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. Add street names to the vicinity map. B) Check the labels or radius of curves C2, C3, and C7. Where is the west end of curve C2? C) GENERAL NOTE #5: Note refers to a LOT B; however, no LOT B is shown on the drawing. D) Review and revise the written legal description to*

include the “less and except” shown in the submitted Warranty Deed. E) Revise the plat to label each lot with its size in acres and square feet, or the furnishing of a table on the Plat providing the same information. F) Provide and label the monument set or found at each subdivision corner. G) Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer. H) Provide the Surveyor’s Certificate and Signature. I) Provide the Surveyor’s, Owner’s (notarized), Planning Commission, and Traffic Engineering signatures. J) Provide a copy of the FINAL PLAT to the Engineering Dept. for review prior to obtaining any signatures. K) Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.);

6. *compliance with Traffic Engineering comments: (The Lot is limited to one curb cut, with its size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.);*
7. *compliance with Urban Forestry comments: (Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64)); and*
8. *compliance with Fire Department comments: (All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code)).*

LOCATOR MAP



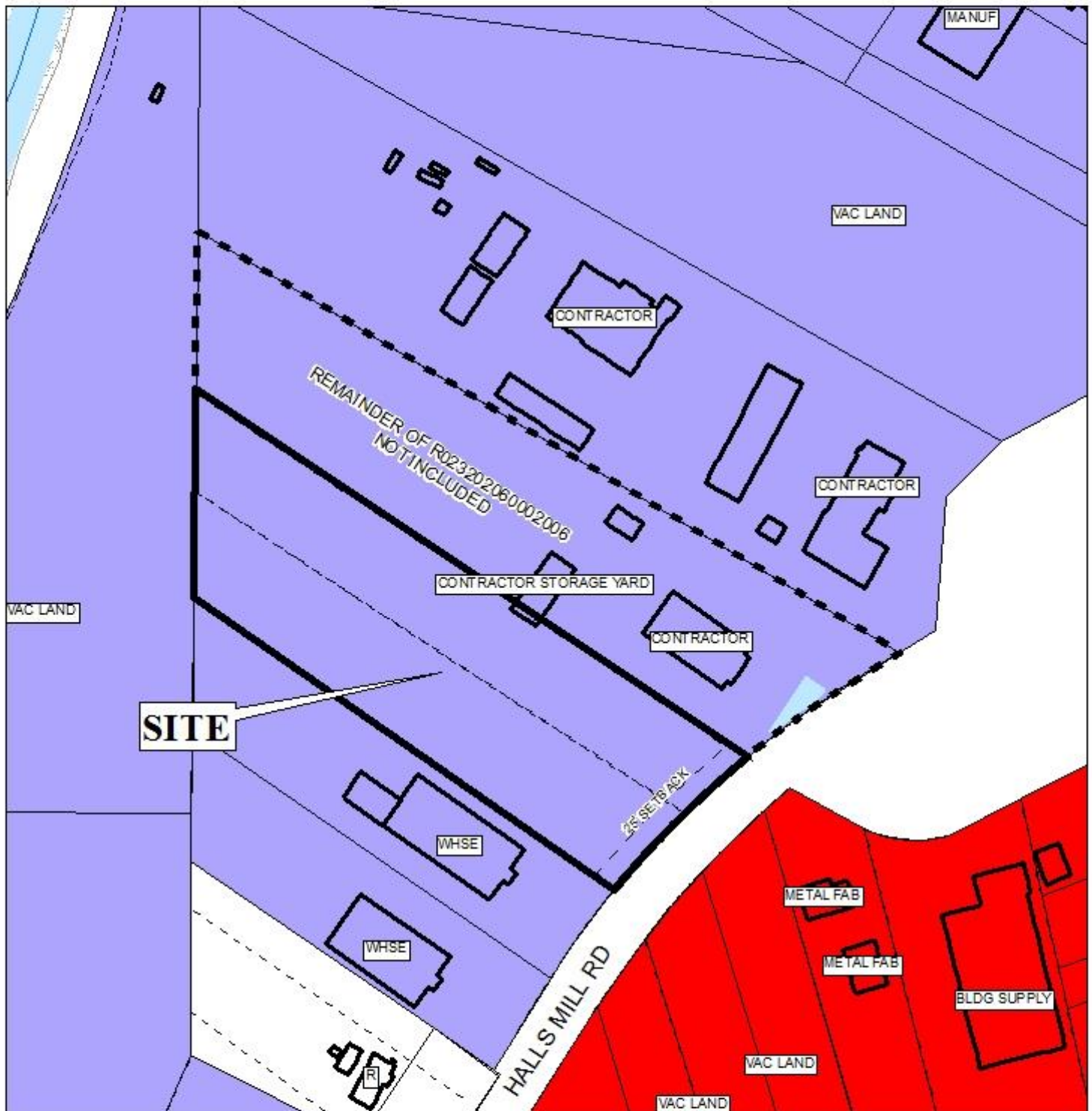
APPLICATION NUMBER 4 DATE September 17, 2015

APPLICANT Middleton Subdivision

REQUEST Subdivision



MIDDLETON SUBDIVISION



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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



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