

MELANIE PLACE ESTATES SUBDIVISION

Engineering Comments: FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for review and/or signature by the City Engineer):

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Review and revise the written legal description or drawing to show the deed/calculated/record distances and bearings (angles).
- C. Dedicate the corner radius (25' minimum or as approved by the City Engineer and Traffic Engineer) at the northwest corner of LOT 1.
- D. Revise the signature block from "MOBILE CITY ENGINEERING" to "CITY ENGINEER".
- E. Provide the Surveyor's Certificate and Signature.
- F. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- G. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- H. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- I. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved.
- J. Provide a copy of the FINAL SUBDIVISION PLAT to the Engineering Dept. for review. No signatures are required on this drawing.
- K. After addressing all of the FINAL SUBDIVISION PLAT review comments by the Engineering Dept. provide the ORIGINAL and one (1) copy of the revised Final Plat with all of the required signatures including Owner's (notarized), Planning Commission, and Traffic Engineering signatures.

Traffic Engineering Comments: Each lot is limited to one curb cut per street frontage, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).

Fire-Rescue Department Comments: All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code).

MAWSS Comments: MAWSS has water and sewer services available, but a Capacity Assurance application for additional sewer service has not been applied for. MAWSS cannot

guarantee additional sewer service until a Capacity application is approved by Volkert Engineering Inc.

Map for Mobile Development Area(s) and Intent: Traditional Neighborhood

- Better connectivity to neighborhoods centers with accessibility to retail and services
- Appropriately scaled and designed infill development, including housing in a variety of configurations
- More sidewalks and streetscaping
- Protections for historic properties
- Increased protections for existing traditional development

The preliminary plat illustrates the proposed 2-lot, 0.4± acre subdivision which is located on the Southeast corner of Brown Street and Parker Street, within Council District 2. The applicant states that the subdivision is served by city water and sanitary sewer systems. The purpose of this application is to create two (2) legal lots of record from one (1) metes and bounds parcel.

The proposed lots are located within the Old Dauphin Way Historic District. The proposed Lot 1 is part of the Hamilton Subdivision while proposed Lot 2 is a part of the Etheridge Tract.

The proposed Lot 1 fronts Brown Street and Parker Street; both of which are minor streets with curb and gutter. The proposed Lot 2 fronts Parker Street. As minor streets, Brown Street and Parker Street require a 50' right-of-way width as depicted on the preliminary plat. If approved, the 50' right-of-way widths should be retained on the Final Plat. The preliminary plat does not illustrate dedication of the corner radii as per Section V.D.6. of the Subdivision Regulations. If approved, the Final Plat should be revised to provide corner radii dedication for Brown Street and Parker Street.

A 25-foot minimum building setback line is depicted on the preliminary plat along Brown Street for Lot 1, as well as a 20-foot minimum building setback depicted along Parker Street. It should be noted that reduced side yard setbacks along Parker Street would require a waiver of Section V.D.9. of the Subdivision regulations. Section V.D.9. of the Subdivision Regulations requires a 25' building setback; however, Section 64-4.D.3. of the Zoning Ordinance allows for reduced setbacks for a side street on a corner lot. If approved, the depicted setbacks should be retained on the Final Plat. Lot 2 illustrates an existing dwelling encroaching in the 25-foot building setback as illustrated on the preliminary plat. Section 64-3.G.3.a.(1) of the Zoning Ordinance states the following in regards to front yard setbacks in Historic District Overlays: *"The front yard setback shall be no greater or lesser than the setback of those structures on the same side of the street within 150 feet of both sides (exclusive of right-of-way) of the proposed building site"*. The dwelling immediately to the South of the site appears to be in line with the existing dwelling on the proposed Lot 2, therefore the setback could be revised to be in line with the existing dwelling. If approved, the 25' setback should be retained on the Final Plat.

The proposed Lot 1 depicted as 10,763.14± square feet which exceeds the 7,200 square foot minimum lot size requirements for lots served by public water and sanitary sewer systems; however, Lot 2 is depicted at 5,458.29± square feet and therefore does not meet the 7,200 square foot minimum lot requirement. It should be noted that the proposed Lot 1 could be reduced in size to allow Lot 2 to meet the 7,200 square foot requirement. However, as previously stated, the

site is in a Historic District, and substandard lots are not out of character in the area, making a waiver of Section V.D.2. of the Subdivision Regulations appropriate. The preliminary plat provides the lot sizes in square feet and acres. If approved, the lot size information should be depicted in both square feet and acres on the Final Plat.

The preliminary plat states “Lot one is limited to two curb cut with size location and design to be approved by Traffic Engineering and conform to AASHTO Standards, Lot 2 to use existing curb cut”. If approved, this should be revised to match Traffic Engineering comments on the Final Plat.

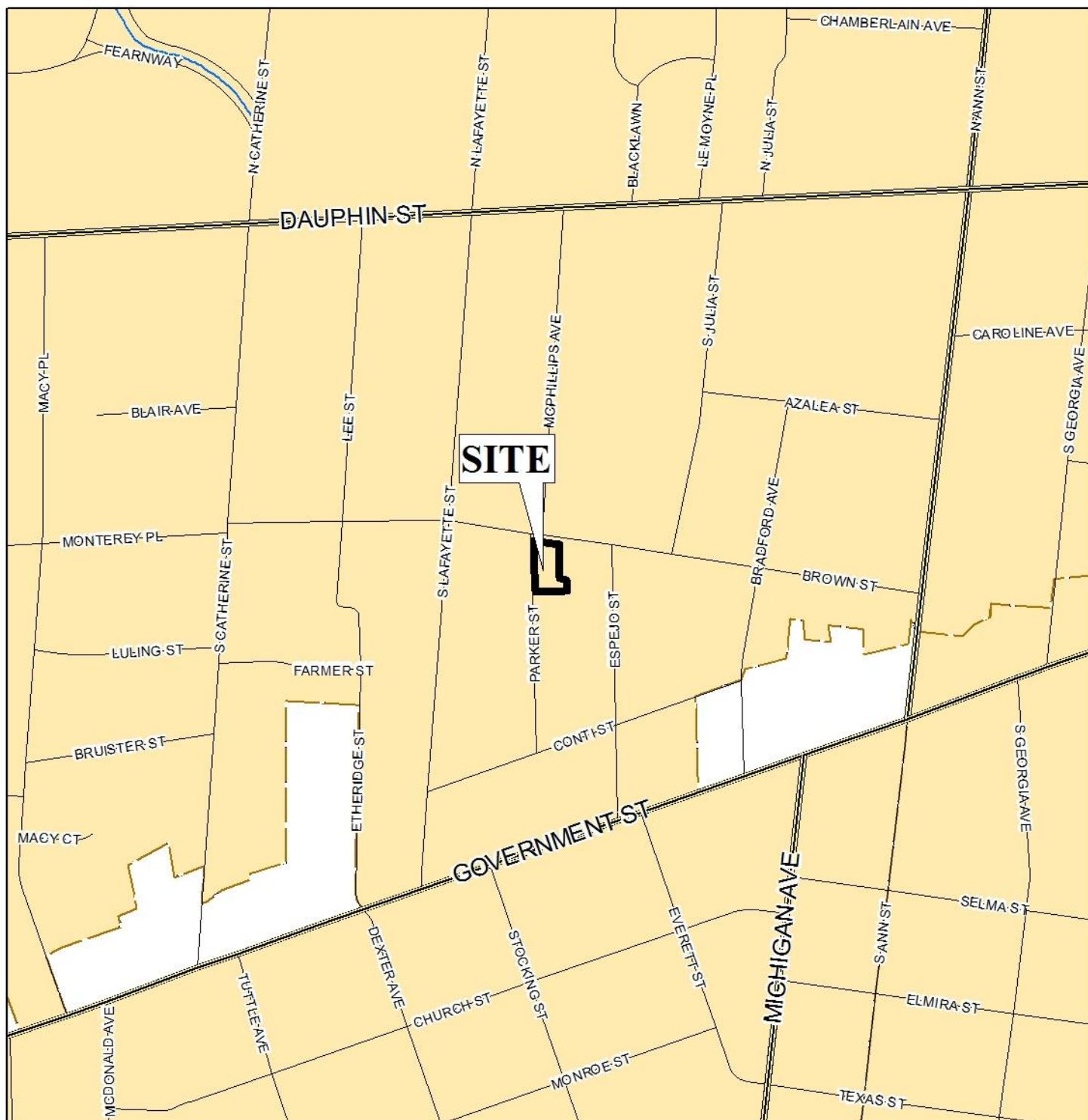
Based upon the preceding and with a waiver of Section V.D.9. and V.D.2. of the Subdivision Regulations to allow for Zoning Ordinance compliant setbacks, this application is recommended for Tentative Approval, subject to the following conditions:

- 1) Retention of the 25' minimum building setback line along Brown Street;
- 2) Retention of the 20' minimum building setback line for Lot 1 along Parker Street;
- 3) Retention of the 25' minimum building setback line for Lot 2 along Parker Street;
- 4) Retention of 50' right-of-way width for both Parker Street and Brown Street;
- 5) Dedication of the corner radius to Parker Street and Brown Street;
- 6) Retention of lot size information in both square feet and acres adjusted for dedication;
- 7) Placement of a note on the Final Plat stating that each lot is limited to one curb cut per street frontage, with any changes in the size, design and location to be approved by Traffic Engineering and conform to AASHTO standards.
- 8) Compliance with Engineering comments: *(FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for review and/or signature by the City Engineer): A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. B. Review and revise the written legal description or drawing to show the deed/calculated/record distances and bearings 9angles). C. Dedicate the corner radius (25' minimum or as approved by the City Engineer and Traffic Engineer) at the northwest corner of LOT 1. D. Revise the signature block from “MOBILE CITY ENGINEERING” to “CITY ENGINEER”. E. Provide the Surveyor’s Certificate and Signature. F. Provide the Surveyor’s, Owner’s (notarized), Planning Commission, and Traffic Engineering signatures. G. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. H. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. I. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved. J. Provide a copy of the FINAL SUBDIVISION PLAT to the Engineering Dept. for review. No signatures are required on this drawing. K. After addressing all of the FINAL SUBDIVISION PLAT review comments by the Engineering Dept. provide the ORIGINAL*

and one (1) copy of the revised Final Plat with all of the required signatures including Owner's (notarized), Planning Commission, and Traffic Engineering signatures.);

- 9) Compliance with Traffic Engineering comments and placement of a note on the Final Plat: *(Each lot is limited to one curb cut per street frontage, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.);*
- 10) Compliance with Urban Forestry comments *(Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).);* and
- 11) Compliance with Fire Department comments and placement of a note *(All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code)).*

LOCATOR MAP



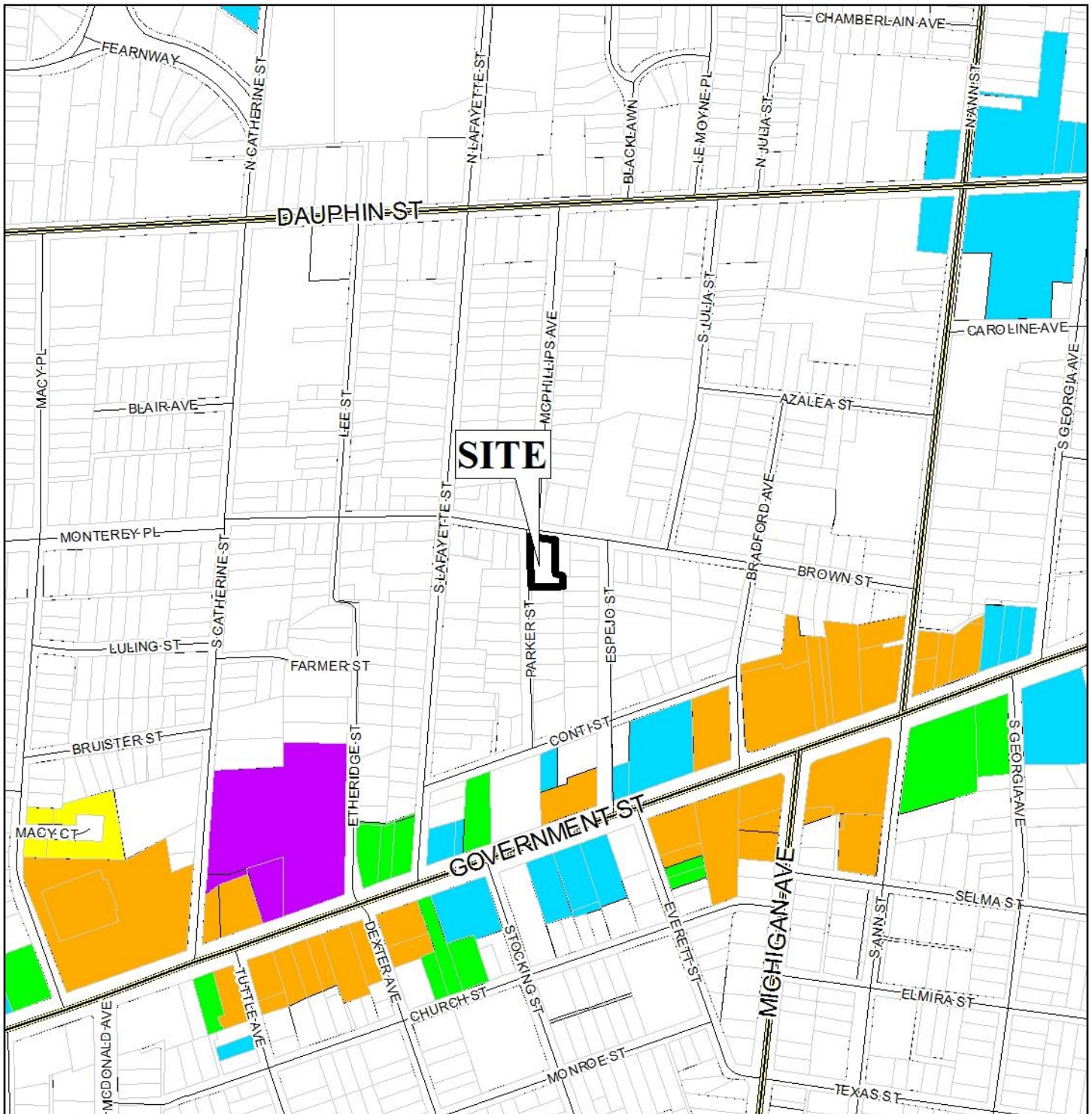
APPLICATION NUMBER 4 DATE January 19, 2017

APPLICANT Melanie Place Estates Subdivision

REQUEST Subdivision



LOCATOR ZONING MAP



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REQUEST Subdivision



NTS

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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



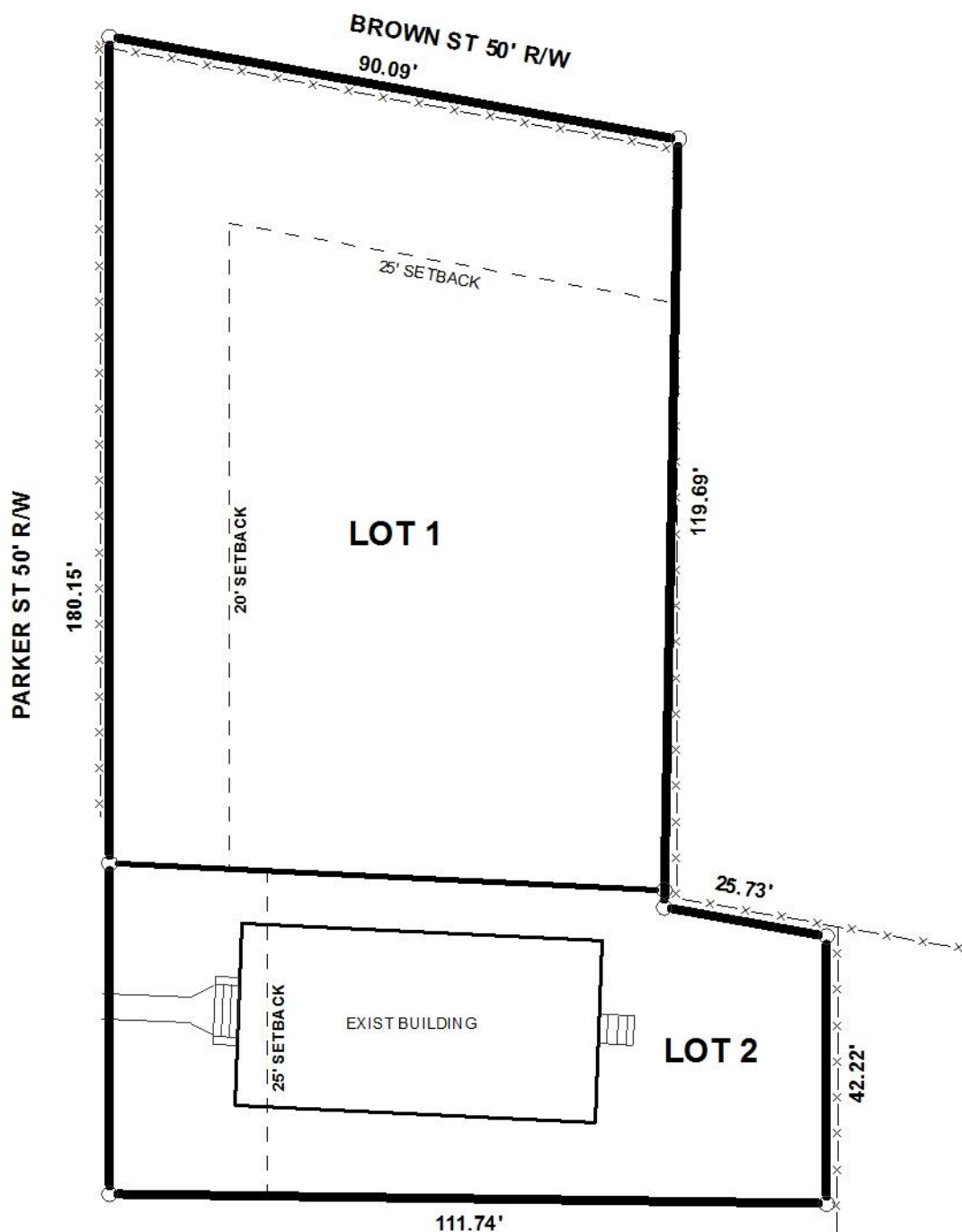
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DETAIL SITE PLAN



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APPLICANT Melanie Place Estates Subdivision
REQUEST Subdivision



