

HUDSON PLACE SUBDIVISION, RESUBDIVISION OF LOT 706, CAROL PLANTATION, 6TH UNIT

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. New public roads shall be constructed and paved to standards for County Maintenance, and accepted by Mobile County, while new private roads shall be constructed and paved to minimum County or Subdivision Regulation standards, whichever are greater.

Fire Department Comments: Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code. (2012 IFC).

MAWSS Comments: MAWSS has no water or sewer services available. Sewer could be made available by extending the main approximately 1,800 feet. A Capacity application would have to be certified by Volkert Engineering, Inc.

The plat illustrates the proposed 3-lot, 17.5± acre subdivision located at the North terminus of Gibson Road, within the Planning Jurisdiction. The applicant states that the subdivision is served by public water and individual septic tank services. This contradicts the MAWSS statement concerning water service availability; however, it would have no impact on the lot sizes as proposed.

The purpose of this application is to create three legal lots of record from three existing metes-and-bounds parcels.

The applicant states that the subdivision will be a family subdivision. The site is proposed to be divided among three brothers and a trust provides for the care of one who is mentally challenged. One of the existing parcels containing approximately 1.85 acres is occupied by one of the brothers and is proposed to become Lot 1 if the Subdivision is approved. The other two parcels encompass approximately 16.61 acres. Two lots totaling approximately 2.48 acres are proposed to be created within this area with the remaining 13.13± acres to remain (with the exception of access easements) a wooded common area with trails for walking and recreation. The provision of lots within a large Common Area as proposed could be considered innovative under Section VIII.C. of the Subdivision Regulations.

The site has 25' of frontage on the North terminus of Gibson Road which is a public street with a 50' right-of-way. Access to Lot 1 would be via a 25' recorded easement extending Northward from Gibson Road, and access to Lots 2 and 3 would be via a proposed 30' easement extending Eastwardly from the 25' easement and running along the South side of the site. Therefore, a waiver of Section V.D.4. of the Subdivision Regulations (*Lot to Abut on a Street*) will be required in order to approve the lots as submitted, and such a waiver may be advisable due to the innovative aspect of creating lots within an overall Common Area. No improvements are proposed for the easements which would basically be private streets. Therefore, no additional

subdivision of the site should be allowed until the easements are improved to the private street standards contained within Section VIII.E. of the Subdivision Regulations and additional frontage to provide 50' at the North terminus of Gibson Road is obtained. Both easements and all three lots would have access to the Common Area.

Section V.D.9. of the Subdivision Regulations requires the provision of a 25' minimum building setback from the "front property line", which in this case, staff has determined to be where the recorded and proposed easements abut the proposed lots. Therefore, the plat should be revised to indicate a 25' minimum building setback block-out for Lot 1 at the North terminus of the 25' easement, and as measured from the 30' easement along the South lines of Lots 2 and 3.

The proposed lots meet the minimum size requirements of the Subdivision Regulations, and as on the preliminary plat, all lots and the Common Area should be labeled with their sizes in both square feet and acres, or a table should be furnished on the Final Plat providing the same information. As the site will contain easements, a note should be required on the Final Plat stating that no structures may be placed or constructed within any easement.

As the subdivision would have a recorded Common Area, a note should be required on the Final Plat stating that the maintenance of the Common Area is the responsibility of the property owners.

While the site is in Mobile County, it will have to comply with the City of Mobile storm water and flood control ordinances. A note should be placed on the Final Plat stating that the development will be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. Certification is to be submitted to the Planning Section of Urban Development and County Engineering.

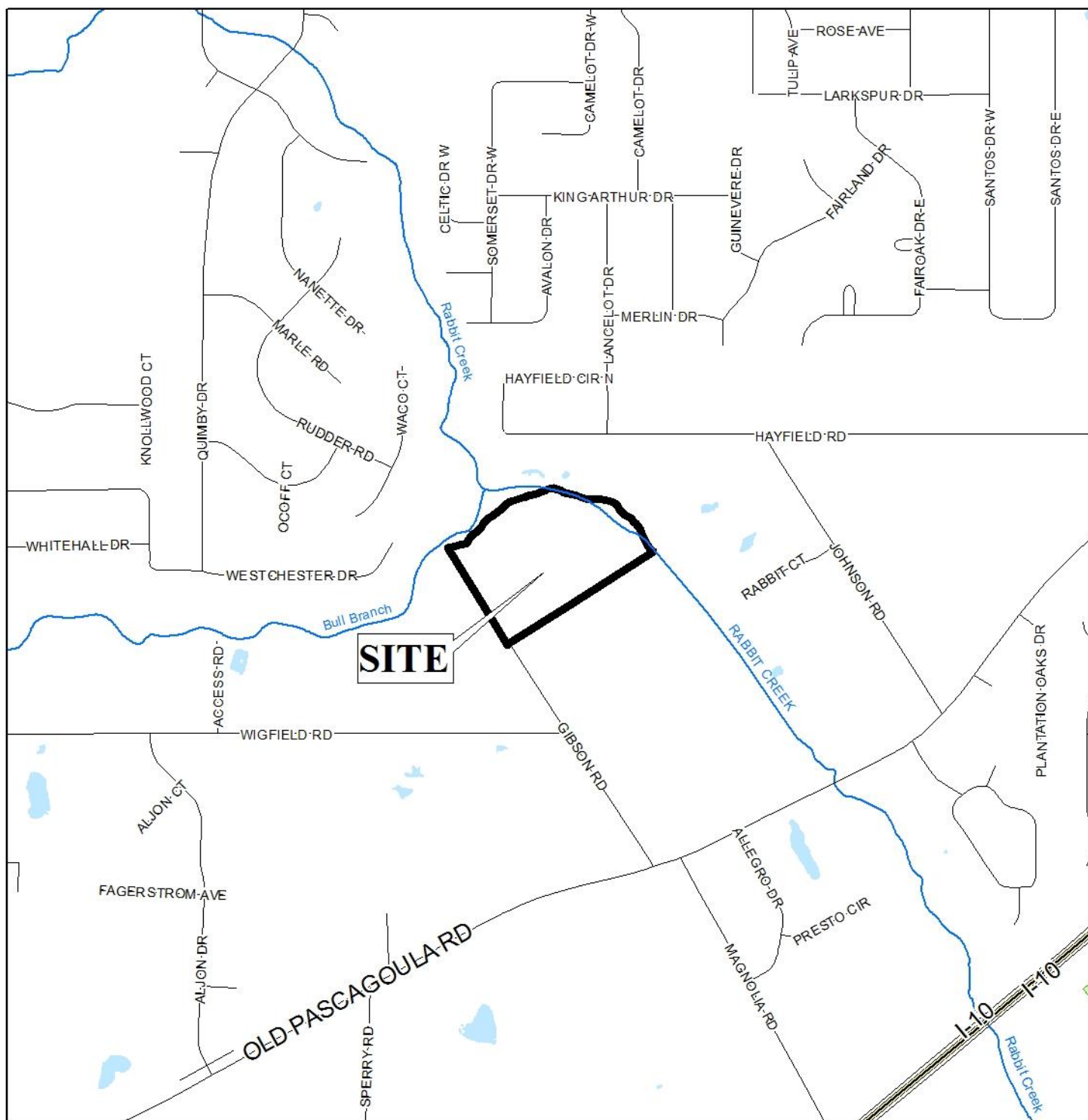
A note should be placed on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations.

With waivers of Sections V.D.4. and V.D.9., the plat meets the minimum requirements of the Subdivision Regulations and is recommended for tentative approval, subject to the following conditions:

- 1) no additional subdivision of the site is allowed until all easements are improved to the private street standards contained within Section VIII.E. of the Subdivision Regulations and additional frontage to provide 50' at the North terminus of Gibson Road is obtained;
- 2) revision of the plat to indicate a 25' minimum building setback block-out for Lot 1 at the North terminus of the 25' easement;
- 3) revision of the plat to indicate a 25' minimum building setback for Lots 2 and 3 as measured from the 30' easement along the South line of those lots;
- 4) retention of the labeling of all lots and the Common Area with their sizes in both square feet and acres, or the furnishing of a table on the Final Plat providing the same information;

- 5) placement of a note on the Final Plat stating that no structures may be placed or constructed within any easement;
- 6) placement of a note on the Final Plat stating that the maintenance of the Common Area is the responsibility of the property owners;
- 7) placement of a note on the Final Plat stating that the site must comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. Certification is to be submitted to the Planning Section of Urban Development and County Engineering;
- 8) placement of a note on the Final Plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations; and
- 9) compliance with the Fire Department comments: *[Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code. (2012 IFC).]*

LOCATOR MAP



APPLICATION NUMBER 4 DATE August 18, 2016
 APPLICANT Hudson Place Subdivision, Resubdivision of Lot 706 Carol Plantation 6th Unit
 REQUEST Subdivision



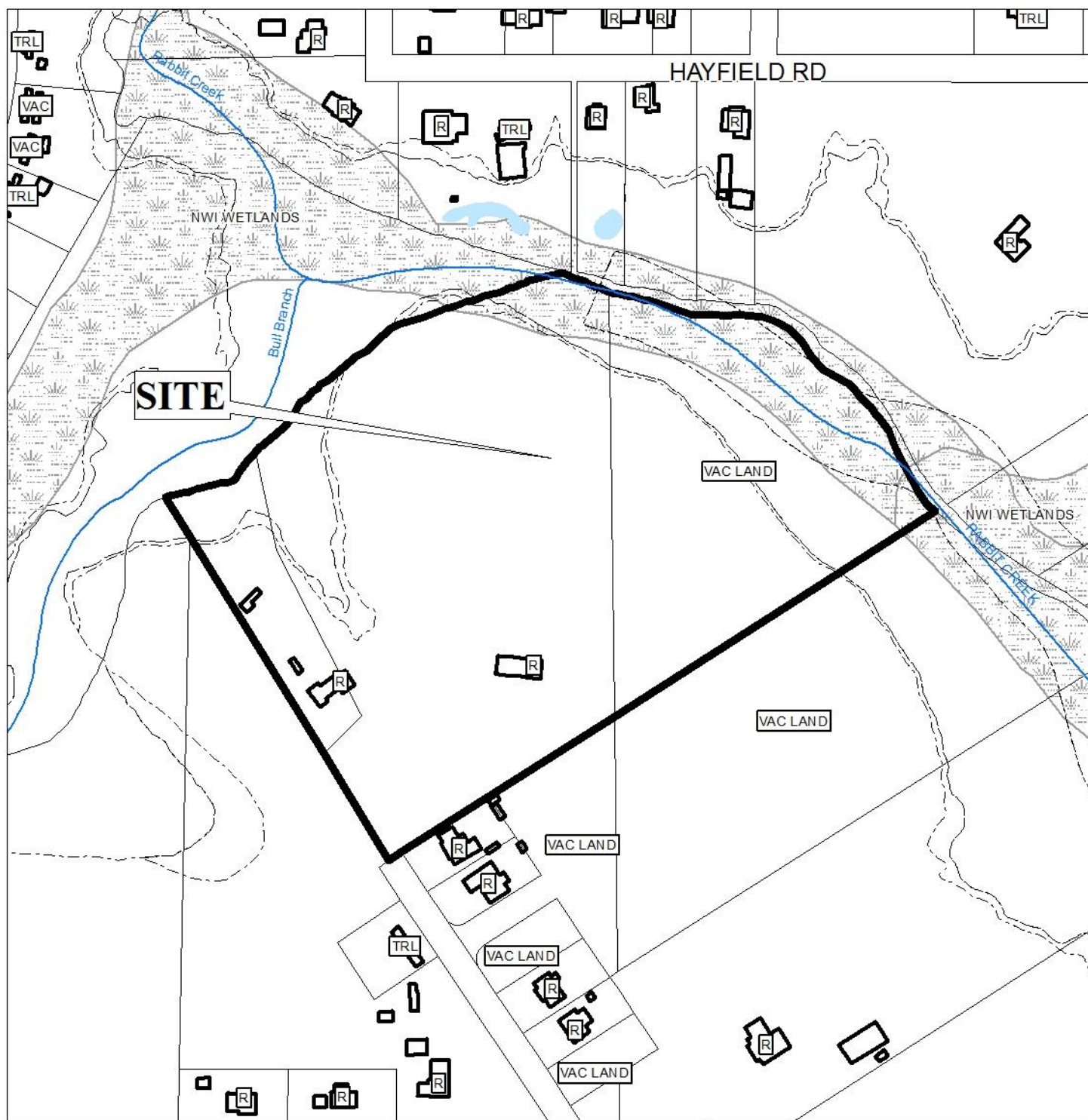
LOCATOR ZONING MAP



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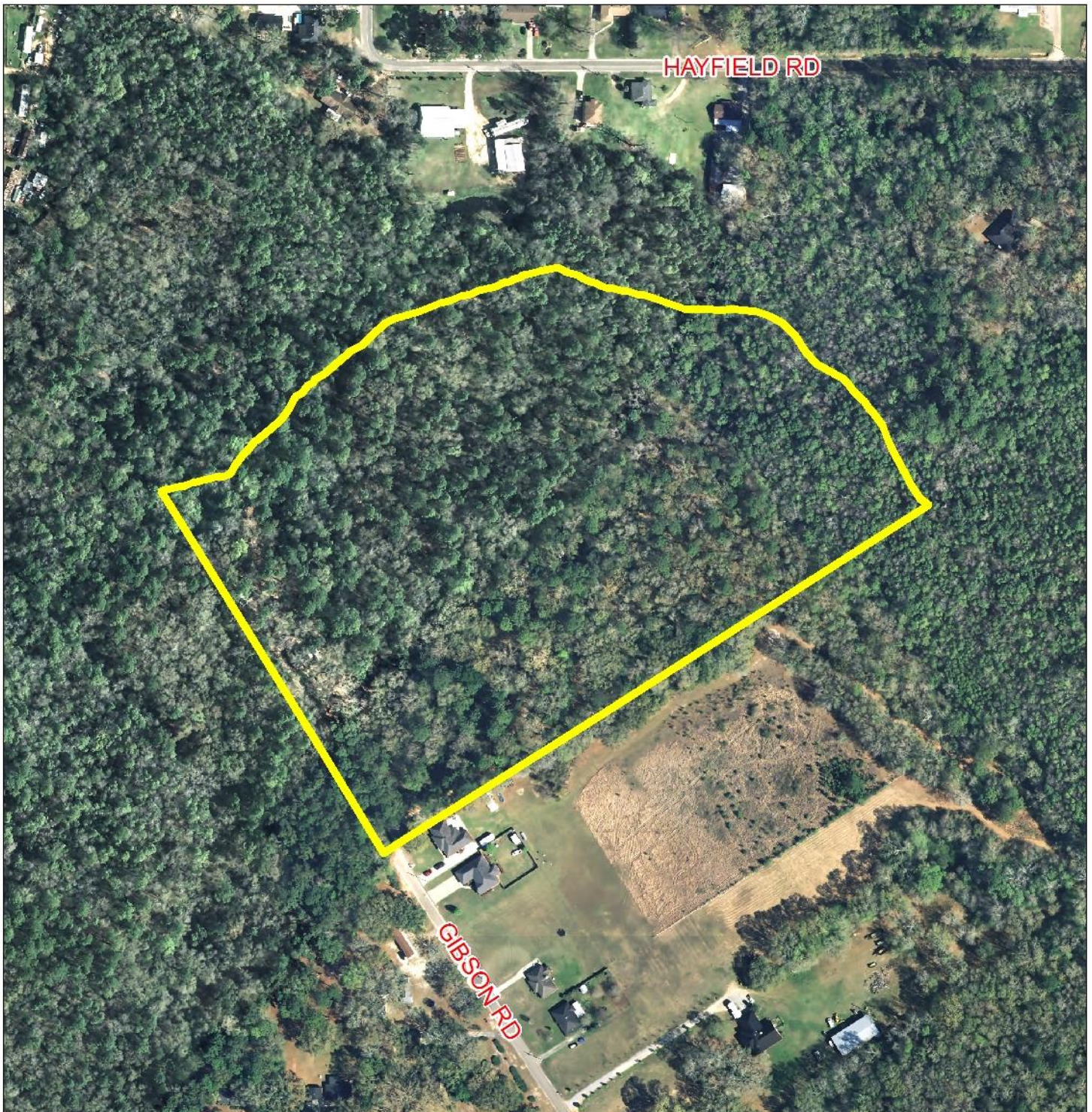


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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6

N
NTS

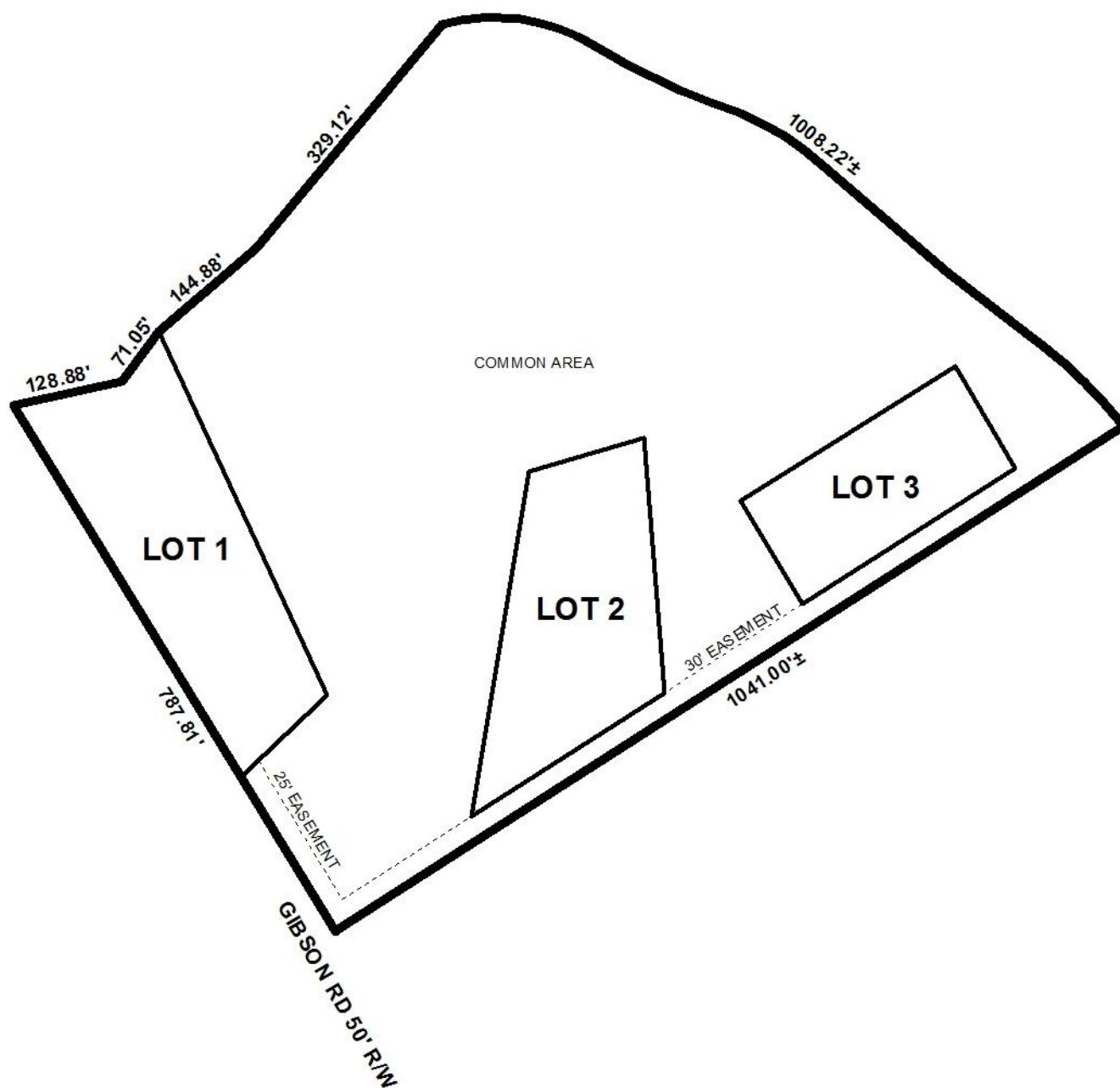
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DETAIL SITE PLAN



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