

## **T. E. HOUSTON SUBDIVISION**

Engineering Comments: Any proposed dumpster pad must have connection to sanitary sewer. Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All commercial projects shall comply with the 2003 International Fire Code and Appendices B through G as adopted by the City Of Mobile on July 6, 2004. All One- or Two-Family residential developments shall comply with Appendices B, C and D of the 2003 International Fire Code as adopted by the City of Mobile on July 6, 2004.

The plat illustrates the proposed 6 lot, 4.0 ± acre subdivision located on the North side of Three Notch Road, 430'± East of Calhoun Road, extending to the South side of Jackson Road, 300'± East of Calhoun Road and is in City Council District 4. The applicant states that the subdivision is served by public water and sewer.

The applicants propose to create 6 lots, two of which would be located outside of the City of Mobile, three of which would be located within the recently annexed area, and one of which would straddle the city limits. It should be noted that proposed lots that cross jurisdictional lines typically must either be fully brought in or excluded from a jurisdiction. Also, it appears that most of the site is developed, thus existing buildings should be depicted so that staff can evaluate if proposed lot lines will create setback issues.

The site fronts Three Notch Road, a proposed major street, and Jackson Road, a minor street with a 50-foot wide right-of-way. Three Notch Road, as a proposed major street, should have a right-of-way of 100-feet, thus the existing 80-foot right-of-way is substandard. The plat should be revised to show dedication adequate to provide 50-feet from the centerline of Three Notch Road. The 25-foot setback line should be revised to reflect dedication.

Due to existing development and existing curb-cuts, staff recommends that the plat also be revised to depict existing curb-cuts that the applicants wish to retain.

Since the proposed subdivision will potentially exacerbate existing shared access, parking and multiple building issues, an application for Planned Unit Development approval for that portion of the site that is or will be located within the City of Mobile will be required prior to new development.

Finally, a flag lot is proposed. The applicants should provide justification for the proposed flag-lot, as required by Section V.D.1. of the Subdivision Regulations.

Based on the preceding, this application is recommended for Holdover until the July 16<sup>th</sup> meeting, with revisions due by June 29<sup>th</sup> so that the following items can be addressed:

- 1) Revision of the plat to eliminate the crossing of the city limits, or provision of a written statement that the owner will petition for inclusion or exclusion from the city;
- 2) Revision of the plat to depict all existing buildings so that staff can determine if the proposed subdivision will create setback issues;
- 3) Revision of the plat to depict dedication adequate to provide 50-feet from the centerline of Three Notch Road, and adjustment of the minimum building setback line to reflect dedication;
- 4) Revision of the plat to show existing curb-cuts which the applicants desire to retain; and
- 5) Provision of a written statement justifying the flag lot.

***Revised for the July 16<sup>th</sup> meeting:***

The City Council approved the rezoning plan for the annexed area, including most of this site, at its July 7, 2009 meeting. That portion of the site located within the city limits is zoned B-3, Community Business District.

The applicant submitted a revised plat and description. The plat depicts the existing buildings and also shows a reduced number of proposed lots (4 lots are proposed instead of 6 lots).

The revised plat still shows a lot crossing the city limits line, and the applicant does not appear to address the concern raised by staff. Therefore, the applicant must complete the process through the City Council of bringing proposed Lot 4 fully into the city or fully out of the city prior to the recording of the final plat, if approved. If the lot is brought into the city, a rezoning application will be required to eliminate the split-zoned condition.

The proposed lot lines and their relationship to the existing buildings will create setback problems. Furthermore, shared access and parking is evident for these existing non-conforming businesses, thus a Planned Unit Development application will be required, and must be approved prior to the recording of the final plat. If the PUD application is not approved, a new application for Subdivision approval, with a redesign of the lots, will be required in order to eliminate the need for the PUD.

The applicant's justification for the flag lot, proposed Lot 3, is that they wish to sell the existing day care on the site, and that the shape of the lot accommodates the shared access between the businesses located on proposed Lots 1-3, thus it reflects an existing condition. Due to the existing development of the site, a lot solely for the day care would require some sort of flag shape, and the lot as proposed provides the minimum frontage for flag lots on a public street required by Section V.D.1. of the Subdivision Regulations.

It should be pointed out that the site has shared access with a church located to the West of the site. Therefore any application for Planned Unit Development should include the church site, or access to the church site should be blocked. The church site is composed of multiple parcels and lots, thus subdivision of the church site to create a legal lot will be required prior to or as part of the PUD application.

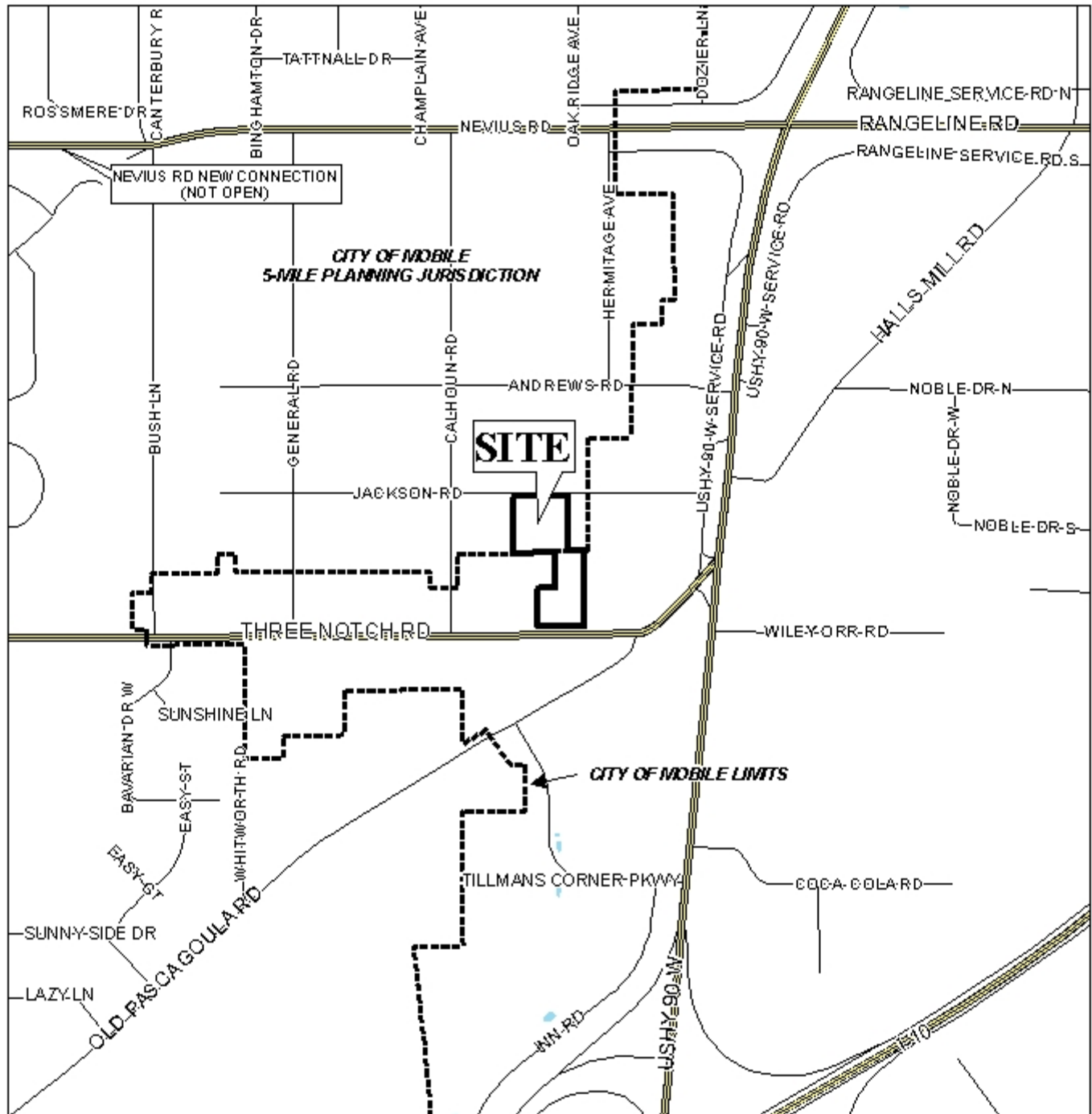
New development on the site, redevelopment, or changes in use from residential to multi-family or commercial uses, will require compliance with Section V.A.8. buffering requirements of the Subdivision Regulations where a non-residential use of the site abuts residential development.

Finally, Lots 1-3 share three access points onto Three Notch Road: these lots should be limited to the existing curb-cuts. Lot 4, which has 300-feet of frontage onto Jackson Road, should be limited to a maximum of two curb-cuts. The size, design and location of all new curb-cuts, or reconfiguration of existing curb-cuts, is subject to the approval of the respective jurisdiction (Mobile County Engineering or City of Mobile Traffic Engineering), and should comply with AASHTO standards.

Based on the preceding, this application is recommended for Tentative Approval, subject to the following conditions:

- 1) City Council-approved inclusion or exclusion of Lot 4 from the city prior to the recording of the final plat ;
- 2) Rezoning of Lot 4, if brought into the city, to eliminate the split-zoning condition, prior to any applications for building or development permits for the site;
- 3) Elimination of shared access with the church site to the West, or inclusion of the church site with a Planned Unit Development application for Lots 1-3, to address shared access and reduced setback issues, with approval required prior to the recording of the final plat;
- 4) Placement of a note on the plat stating that Lots 1-3 are limited to the three existing shared-access curb-cuts onto Three Notch Road, and that Lot 4 is limited to two curb-cuts onto Jackson Road, with the size, design and location of curb-cuts subject to the approval of the respective jurisdiction (Mobile County Engineering or City of Mobile Traffic Engineering), and to be in compliance with AASHTO standards;
- 5) Dedication of right-of-way adequate to provide 50-feet from the centerline of Three Notch Road; and
- 6) Placement of a note on the final plat stating that new development, redevelopment, or change of use to commercial or multi-family must comply with the buffer requirements of Section V.A.8. of the Subdivision Regulations.

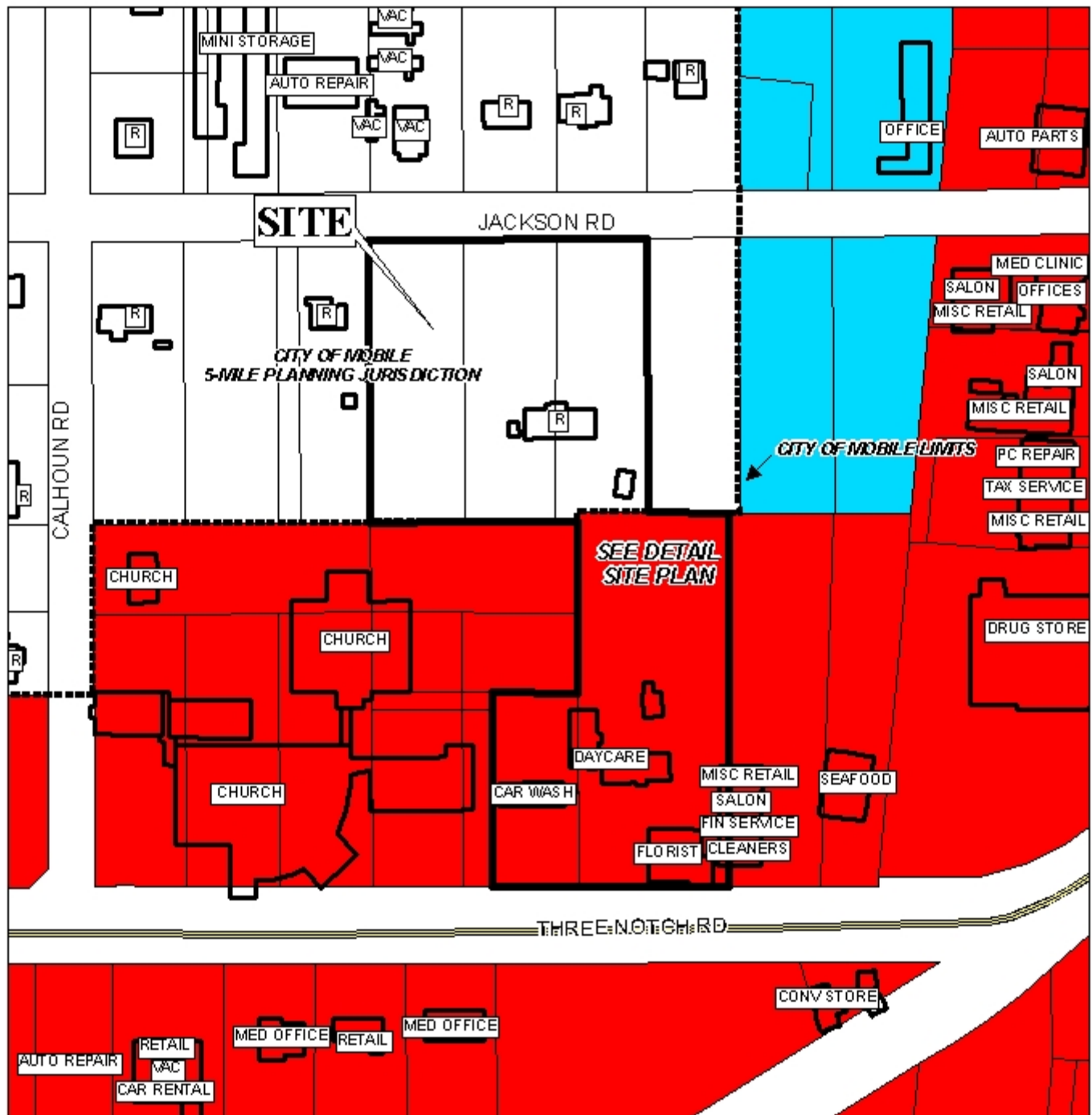
# LOCATOR MAP



APPLICATION NUMBER 4 DATE July 16, 2009  
APPLICANT T.E. Houston Subdivision  
REQUEST Subdivision



# T.E. HOUSTON SUBDIVISION



APPLICATION NUMBER 4 DATE July 16, 2009

LEGEND

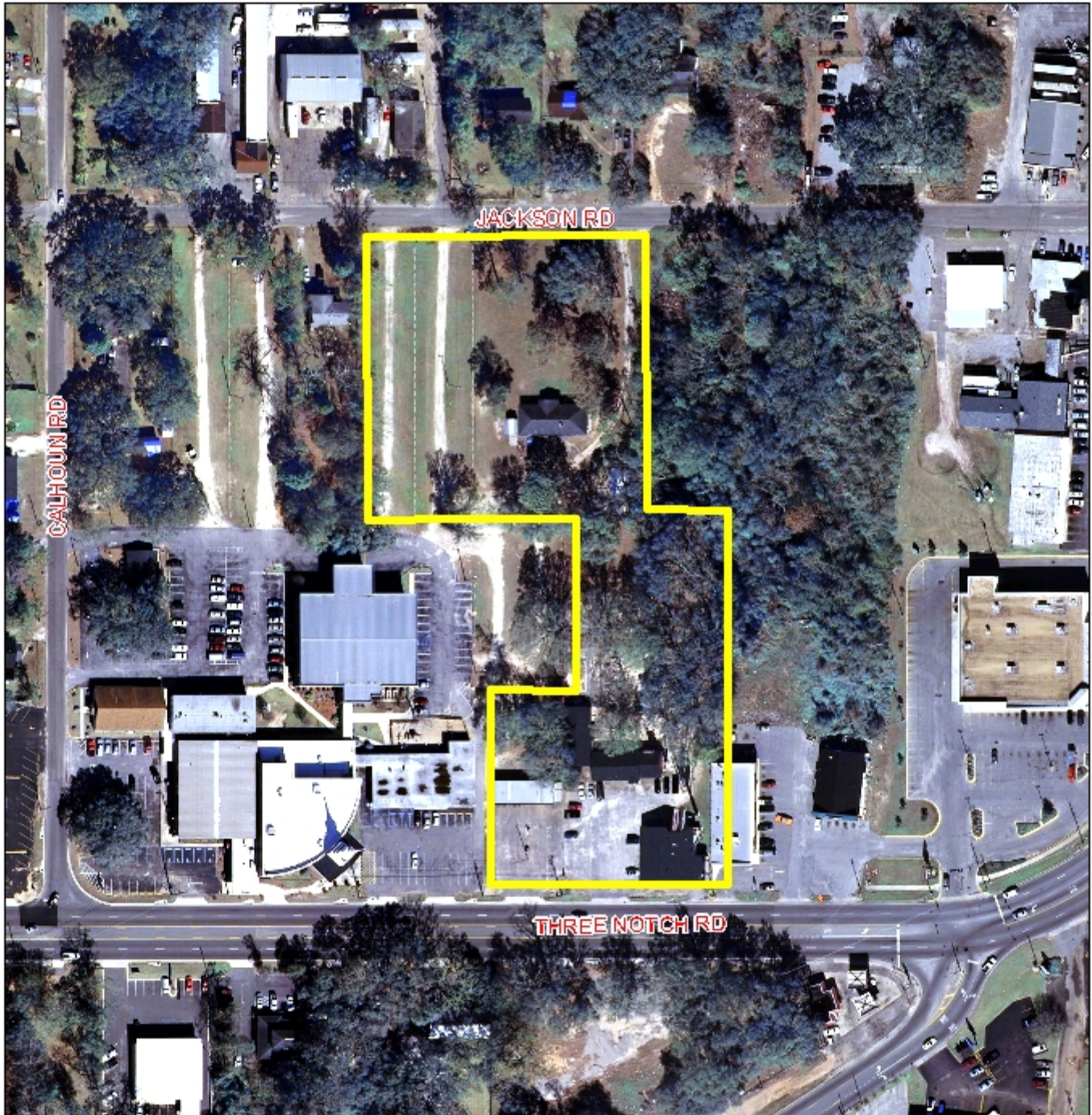
R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
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# T.E. HOUSTON SUBDIVISION

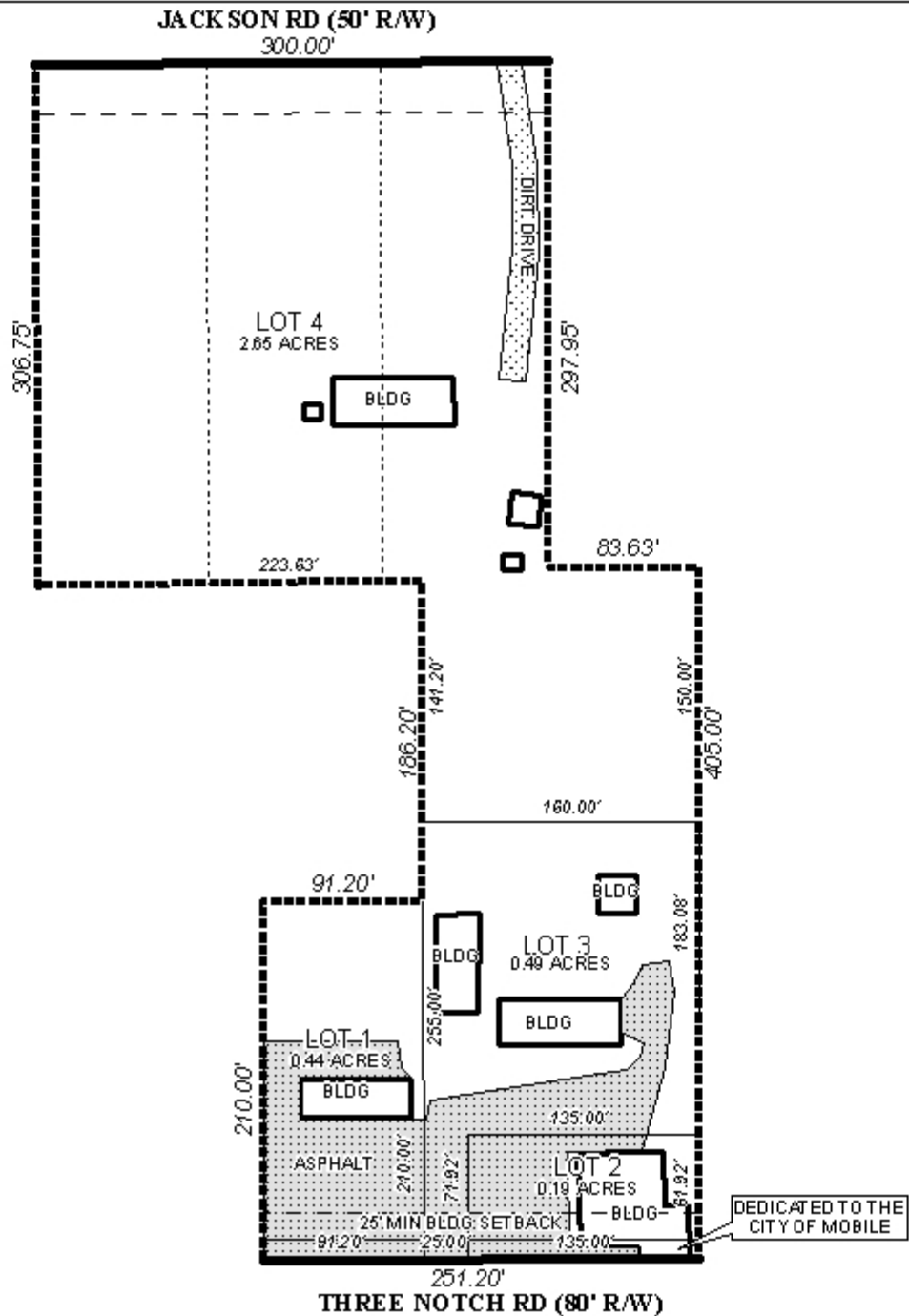


APPLICATION NUMBER 4 DATE July 16, 2009



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# DETAIL SITE PLAN



APPLICATION NUMBER 4 DATE July 16, 2009  
 APPLICANT T.E. Houston Subdivision  
 REQUEST Subdivision

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