

SOUTHERN INDUSTRIAL PARK SUBDIVISION,
LOT A, RESUBDIVISION OF LOTS 7 & 8

Engineering Comments: Need to increase width of existing easement to include an area at least 20' from the top of the existing ditch, or as otherwise approved by the City Engineer, to allow for adequate access to and maintenance of the ditch. On the plat, label Ironworks Road as a private road. Must comply with all storm water and flood control ordinances. Due to the undersized drainage system and history of flooding during rain events at the downstream location at Larue Steiner, detention (100 year storm with 10 year release) will be required for any increase in impervious area. Any work performed in the right of way (including easements) will require a right of way permit, in addition to any required land disturbance permits. Drainage from any new dumpster pads cannot discharge to storm sewer; must have connection to sanitary sewer.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

The plat illustrates the proposed 1-lot, 1.7± acre subdivision which is located at 5635 and 5655 Ironworks Road (East terminus of Ironworks Road), and is in Council District 4. The applicant states that the subdivision is served by both public water and individual septic tank.

The purpose of this application is to create a legal lot of record from two legal lots. The lots were created as part of a private street subdivision approved by the Planning Commission at its November 5, 1998 meeting. The site is located in the recently annexed Theodore/Tillman's corner area. The Northern portion of the site is developed and contains an existing structure.

The site fronts Ironworks Road, a private street provided with curb and gutter, illustrating 50-feet of right-of-way; thus, no dedication is required.

Although Ironworks Road is a private street, access management is still a concern; therefore, a note should be placed on the Final Plat stating that the subdivision is limited to the existing curb-cuts along Ironworks Road with the size, location, and design of any additional curb-cuts to be approved by Traffic Engineering and conform to AASHTO standards.

The lot is not labeled on the plat with its size in square feet, and should be so-labeled on the Final Plat, or a table should be provided furnishing the same information.

It should be noted that the preliminary plat does not illustrate the 25-foot minimum building setback line; thus, the plat should be revised to show the 25-foot setback line along Ironworks Road.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Based upon the preceding, the application is recommended for Tentative Approval, subject to the following conditions:

- 1) placement of a note on the Final Plat stating that the subdivision is limited to the existing curb-cuts along Ironworks Road with the size, location, and design of any additional curb-cuts to be approved by Traffic Engineering and conform to AASHTO standards;
- 2) depiction of the 25-foot minimum building setback line along Ironworks Road;
- 3) labeling of the lot with its size in square feet, or the provision of a table on the plat furnishing the same information;
- 4) compliance with Engineering comments: *Need to increase width of existing easement to include an area at least 20' from the top of the existing ditch to allow for adequate access to and maintenance of the ditch. On the plat, label Ironworks Road as a private road. Must comply with all storm water and flood control ordinances. Any increase in impervious area in excess of 4,000 square feet will require detention. Any work performed in the right of way (including easements) will require a right of way permit, in addition to any required land disturbance permits. Drainage from any new dumpster pads cannot discharge to storm sewer; must have connection to sanitary sewer.*
- 5) placement of a note on the Final Plat stating that approval of all applicable Federal, state and local agencies for endangered, threatened or otherwise protected species is required prior to the issuance of any permits or land disturbance activities; and
- 6) full compliance with all municipal codes and ordinances.

Revised for the September 2nd meeting:

This application was heldover at the August 5th meeting at the applicant's request, to allow discussions with Engineering regarding the necessity of additional easement area along the South property line for the drainage ditch.

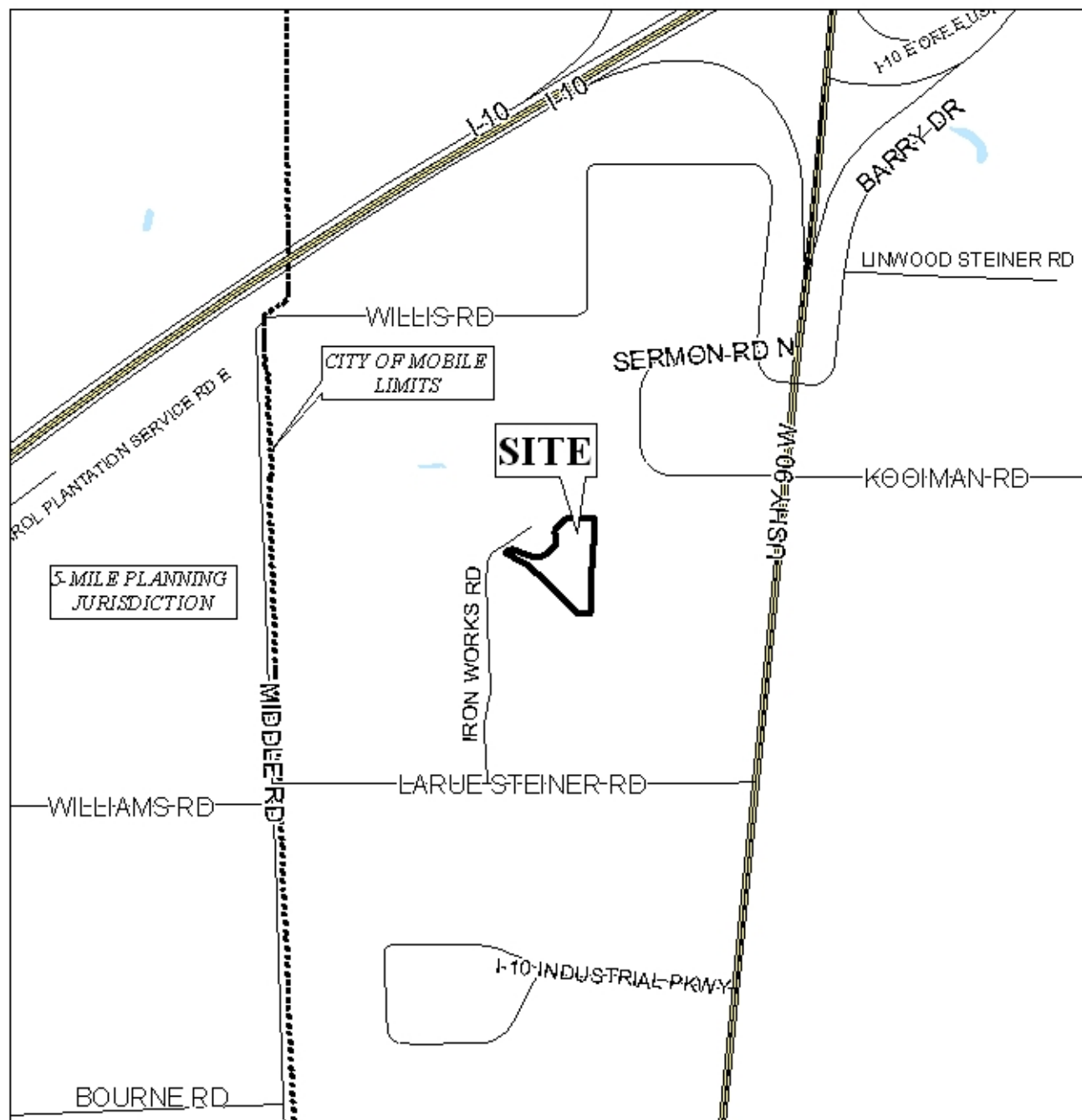
As no additional information has been submitted by the applicant, the original analysis would stand and this application is recommended for Tentative Approval, subject to the following conditions:

- 1) *placement of a note on the Final Plat stating that the subdivision is limited to the existing curb-cuts along Ironworks Road with the size, location, and design of any additional curb-cuts to be approved by Traffic Engineering and conform to AASHTO standards;*
- 2) *depiction of the 25-foot minimum building setback line along Ironworks Road;*
- 3) *labeling of the lot with its size in square feet, or the provision of a table on the plat furnishing the same information;*
- 4) *compliance with Engineering comments: (Need to increase width of existing easement to include an area at least 20' from the top of the existing ditch, or as otherwise approved by the City Engineer, to allow for adequate access to and maintenance of the ditch. On the plat, label Ironworks Road as a private road. Must comply with all storm water and flood control ordinances. Due to the undersized drainage system and history of flooding*

during rain events at the downstream location at Larue Steiner, detention (100 year storm with 10 year release) will be required for any increase in impervious area. Any work performed in the right of way (including easements) will require a right of way permit, in addition to any required land disturbance permits. Drainage from any new dumpster pads cannot discharge to storm sewer; must have connection to sanitary sewer.);

- 5) placement of a note on the Final Plat stating that approval of all applicable Federal, state and local agencies for endangered, threatened or otherwise protected species is required prior to the issuance of any permits or land disturbance activities; and*
- 6) full compliance with all municipal codes and ordinances.*

LOCATOR MAP



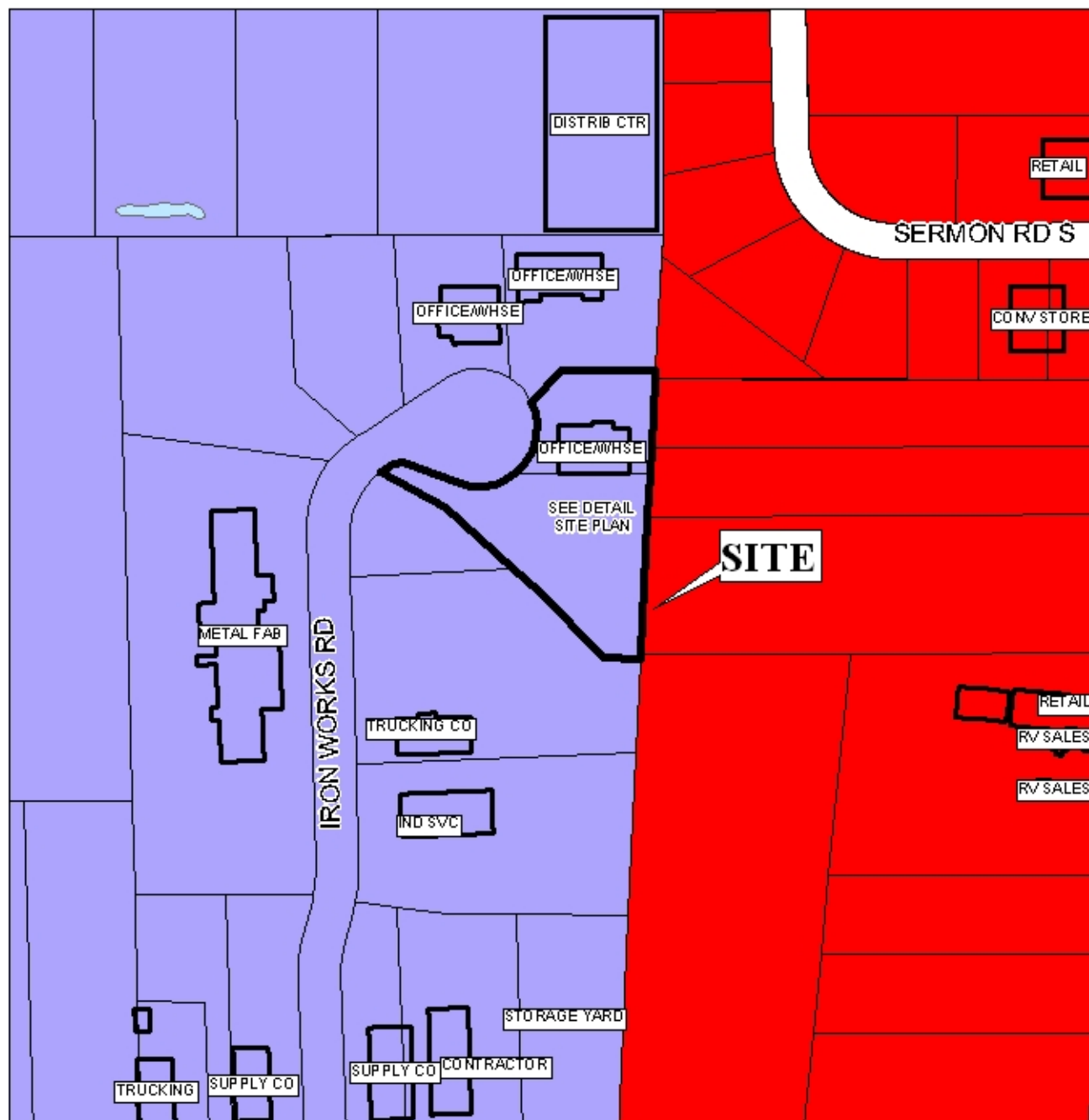
APPLICATION NUMBER 4 DATE September 2, 2010

APPLICANT Southern Industrial Park Subdivision, Lot A, Re-subdivision
of Lots 7 & 8

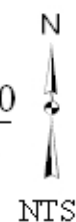
REQUEST Subdivision



SOUTHERN INDUSTRIAL PARK SUBDIVISION, LOT A, RE-SUBDIVISION OF LOTS 7 & 8



APPLICATION NUMBER 4 DATE September 2, 2010



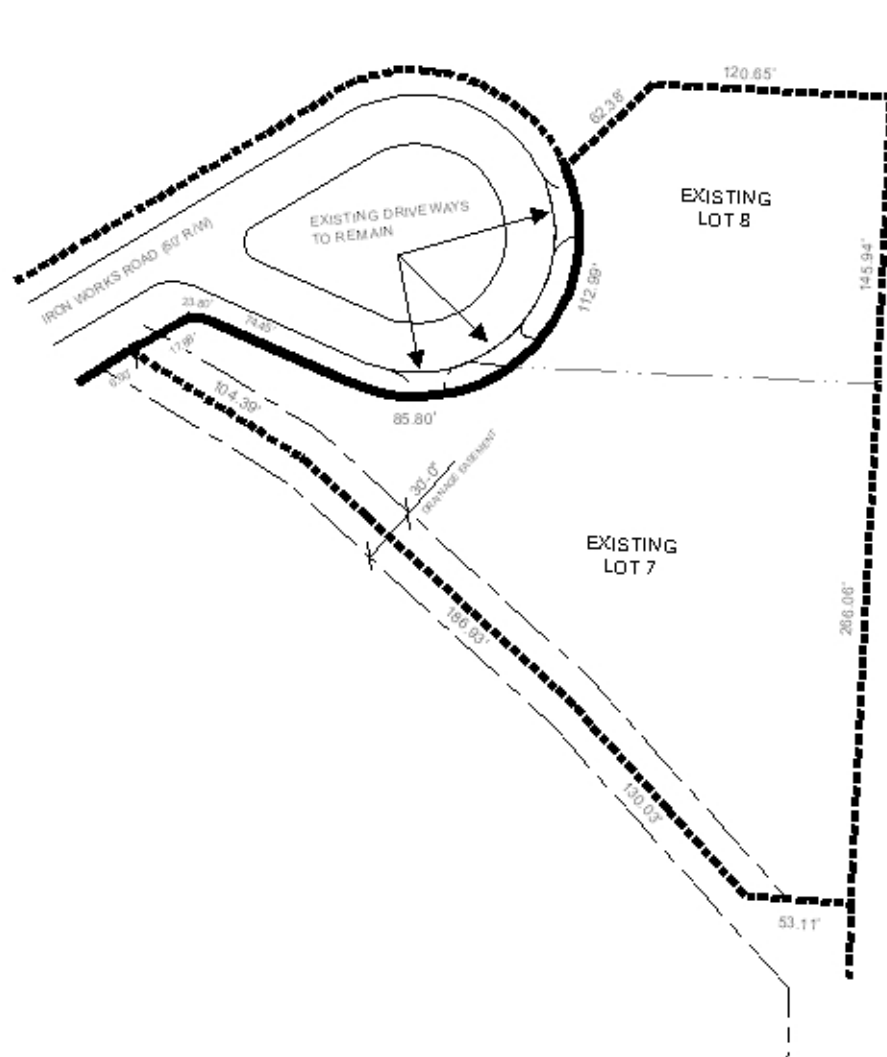
**SOUTHERN INDUSTRIAL PARK SUBDIVISION, LOT A, RE-SUBDIVISION
OF LOTS 7 & 8**



APPLICATION NUMBER 4 DATE September 2, 2010



SITE PLAN



The site plan illustrates drives and easements.

APPLICATION NUMBER 4 DATE September 2, 2010

Southern Industrial Park Subdivision, Lot A,

APPLICANT Re-subdivision of Lots 7 & 8

REQUEST Subdivision



NTS