

## **ALABAMA PECAN SUBDIVISION, PHASE 1**

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire-Rescue Department Comments: All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).

MAWSS Comments: No comments were provided.

The plat illustrates the proposed 4 lot, 85.4 ± acre subdivision which is located on the Southwest corner of Repoll Road and Airport Boulevard, and is located within the Planning Jurisdiction. The applicant states that the subdivision is served by public water and sanitary sewer (South Alabama Utilities).

The purpose of this application is to create 4 legal lots of record from multiple metes-and bounds parcels. It should be pointed out that the proposed 4 lot subdivision is a precursor for a 70 lot subdivision request that is also on the March 15<sup>th</sup> Planning Commission agenda. If this 4 lot subdivision is approved (Alabama Pecan Subdivision, Phase 1), then the 70 lot subdivision, if approved, would be Phase 1, of the Redlands Subdivision. As proposed, Lot 3 of the Alabama Pecan Subdivision, Phase 1, would be developed as a 70 lot subdivision for the Redlands Subdivision, Phase 1.

The site fronts Airport Boulevard and Repoll Road. Airport Boulevard is a proposed major street with a planned 100' right-of-way, as illustrated on the Major Street Plan. However, the plat indicates the right-of-way width of Airport Boulevard as 80'. Therefore dedication of any necessary right-of-way to provide 50' from centerline of Airport Boulevard will be required. The plat depicts Repoll Road as having a 60' right-of-way; therefore no dedication will be required.

The site is bounded along the west side by a proposed major street, a new connection linking Eliza Jordan Road to Johnson Road West. The right-of-way is proposed to be 100 feet, thus the plat should be revised to reflect dedication of the right-of-way.

Due to the impact the proposed major street may have on the proposed subdivision, it is recommended that the request be heldover until the April 19<sup>th</sup> meeting so that the preliminary plat can be revised.

Based on the preceding, the application is recommended for Holdover to April 19<sup>th</sup> with a revised plat reflecting the proposed Eliza Jordan Road major street extension to be submitted by Wednesday, March 28<sup>th</sup>.

***Revised for the April 19<sup>th</sup> meeting:***

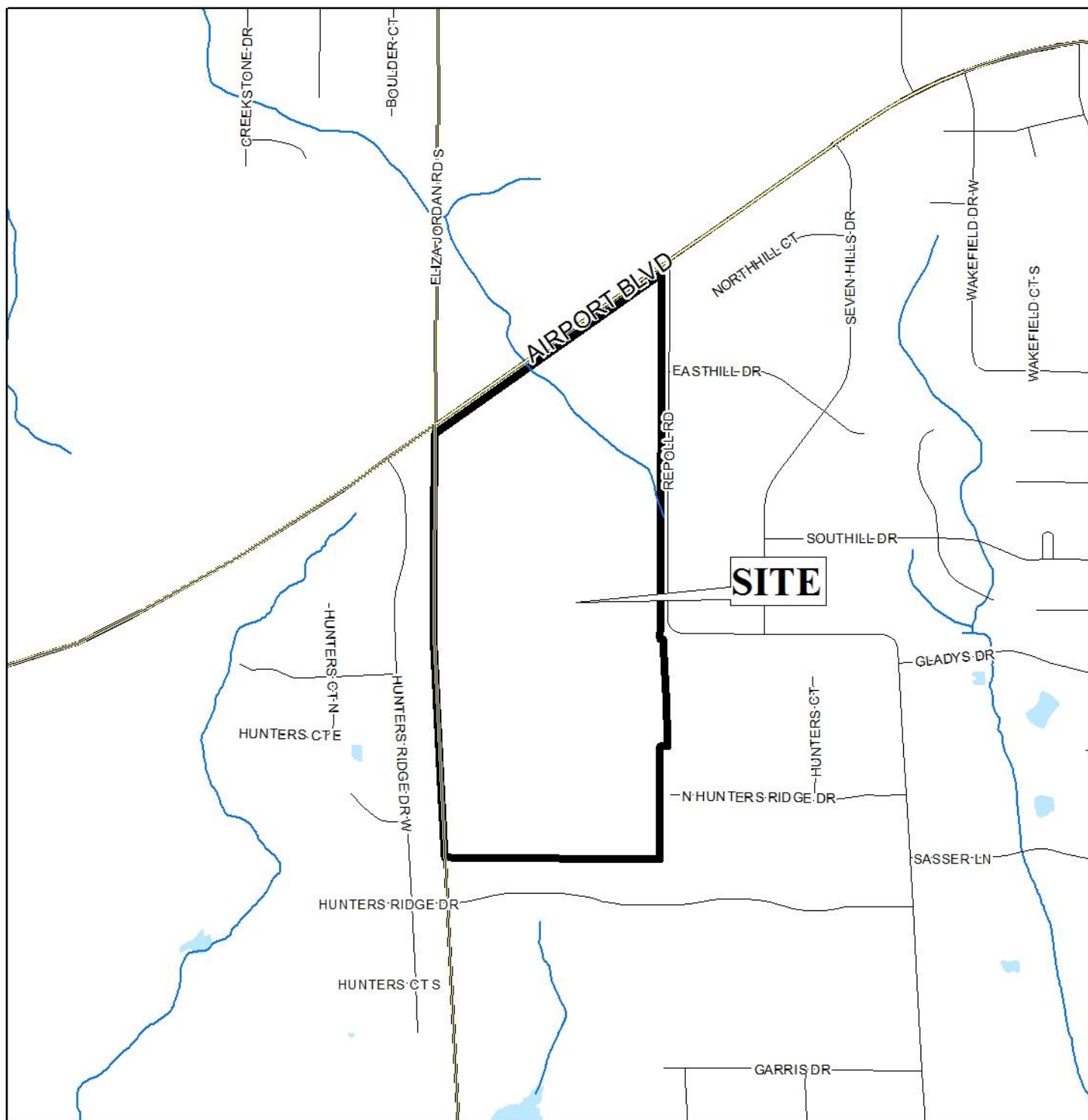
*The application was heldover from the April 5<sup>th</sup> meeting to allow staff to research which of the other subdivisions along the proposed Eliza Jordan Road major street corridor were required to accommodate the major street plan. After extensive research, staff was able to determine that there were 33 total subdivision applications that were approved by the Planning Commission from 1995- 2018 along the Eliza Jordan Road major street corridor. Out of the 33 subdivisions, 28 subdivisions were required to provided dedication or an increased minimum building setback (roughly a 75' minimum building setback). Staff was unable to find any reference to the Eliza Jordan Road major street in the remaining 5 subdivisions dating between 1995-2001 (this includes the adjacent subdivision-Hunter's Ridge Northwest Subdivision). Based upon staff's research it would appear that more than three-fourths of the subdivision applications were required to dedicate or allow room for additional right-of-way to be acquired for the proposed major street.*

*It should also be pointed out that a revised plat depicting any provision for the proposed major street was not submitted.*

**RECOMMENDATION**

*It is recommended that the Commission consider all relevant facts, review the request based upon its own merits, the additional research that has been provided addressing previous subdivision approvals along Eliza Jordan Road, as well as any additional information that may be presented at the meeting to determine the decision regarding dedication, or the lack there of, of the proposed major street plan.*

# LOCATOR MAP



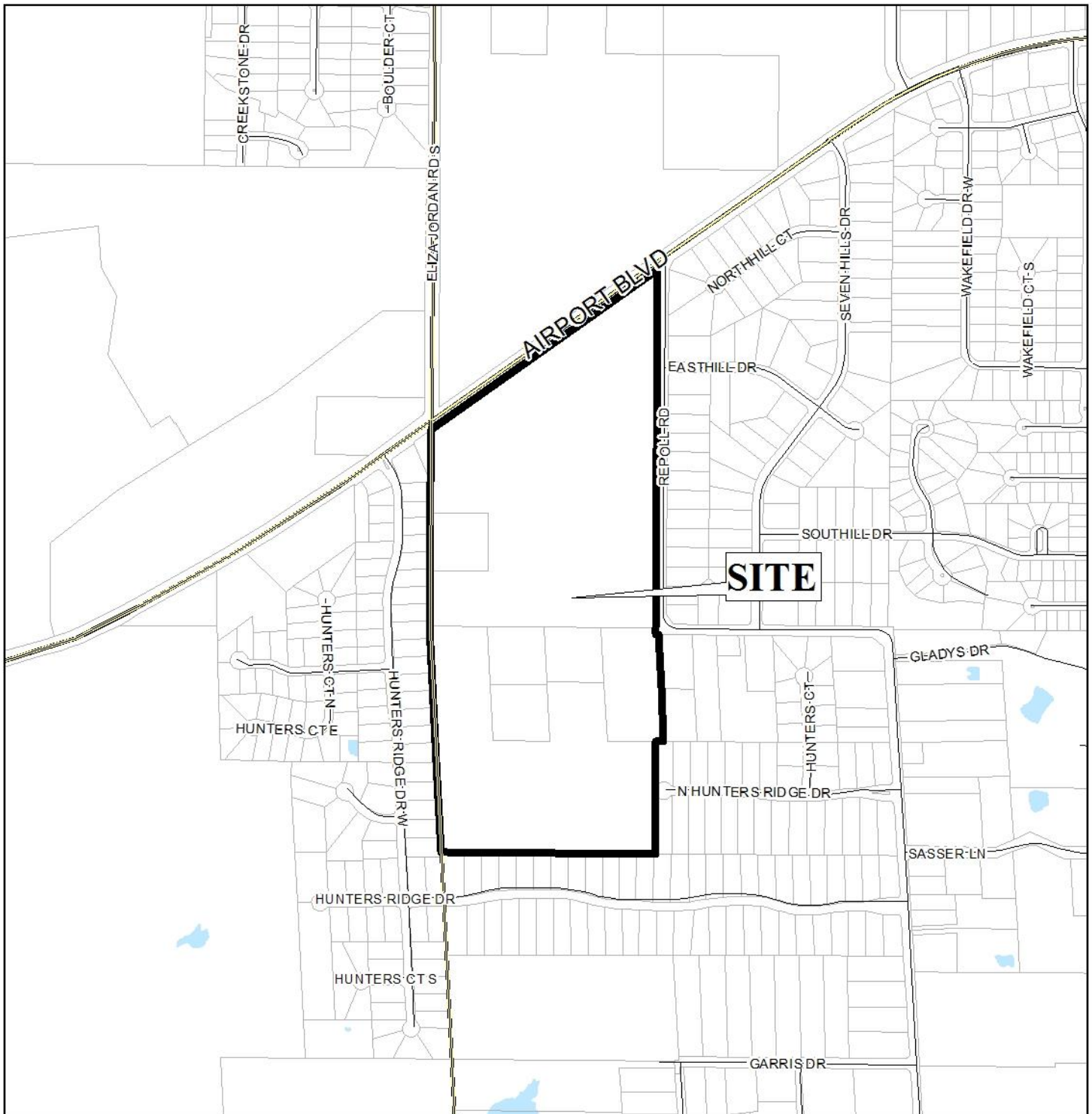
APPLICATION NUMBER 4 DATE April 19, 2018

APPLICANT Alabama Pecan Subdivision, Phase I

REQUEST Subdivision



# LOCATOR ZONING MAP



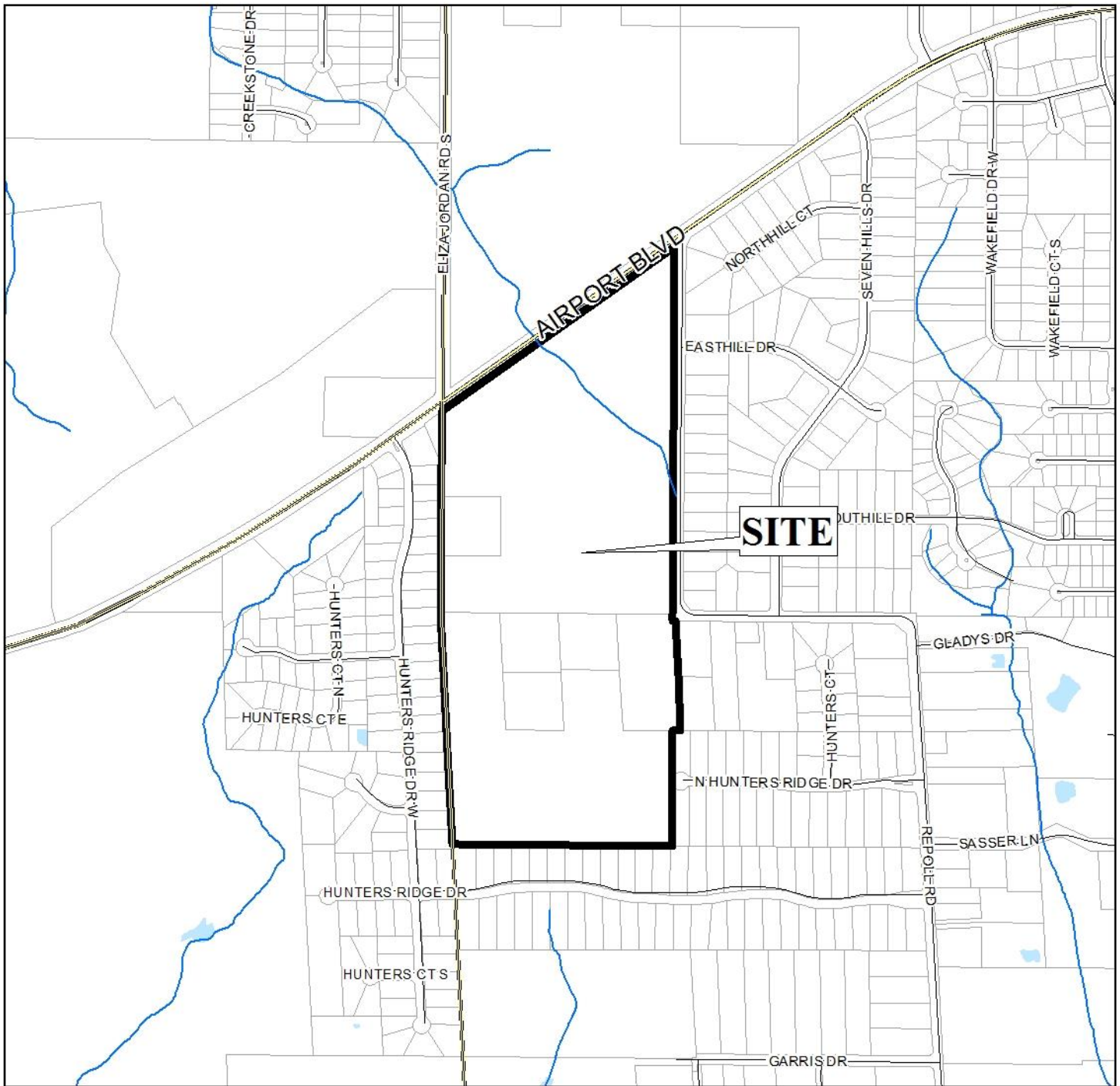
APPLICATION NUMBER 4 DATE April 19, 2018

APPLICANT Alabama Pecan Subdivision, Phase I

REQUEST Subdivision



# FLUM LOCATOR MAP



APPLICATION NUMBER 4 DATE April 19, 2018

APPLICANT Alabama Pecan Subdivision, Phase I

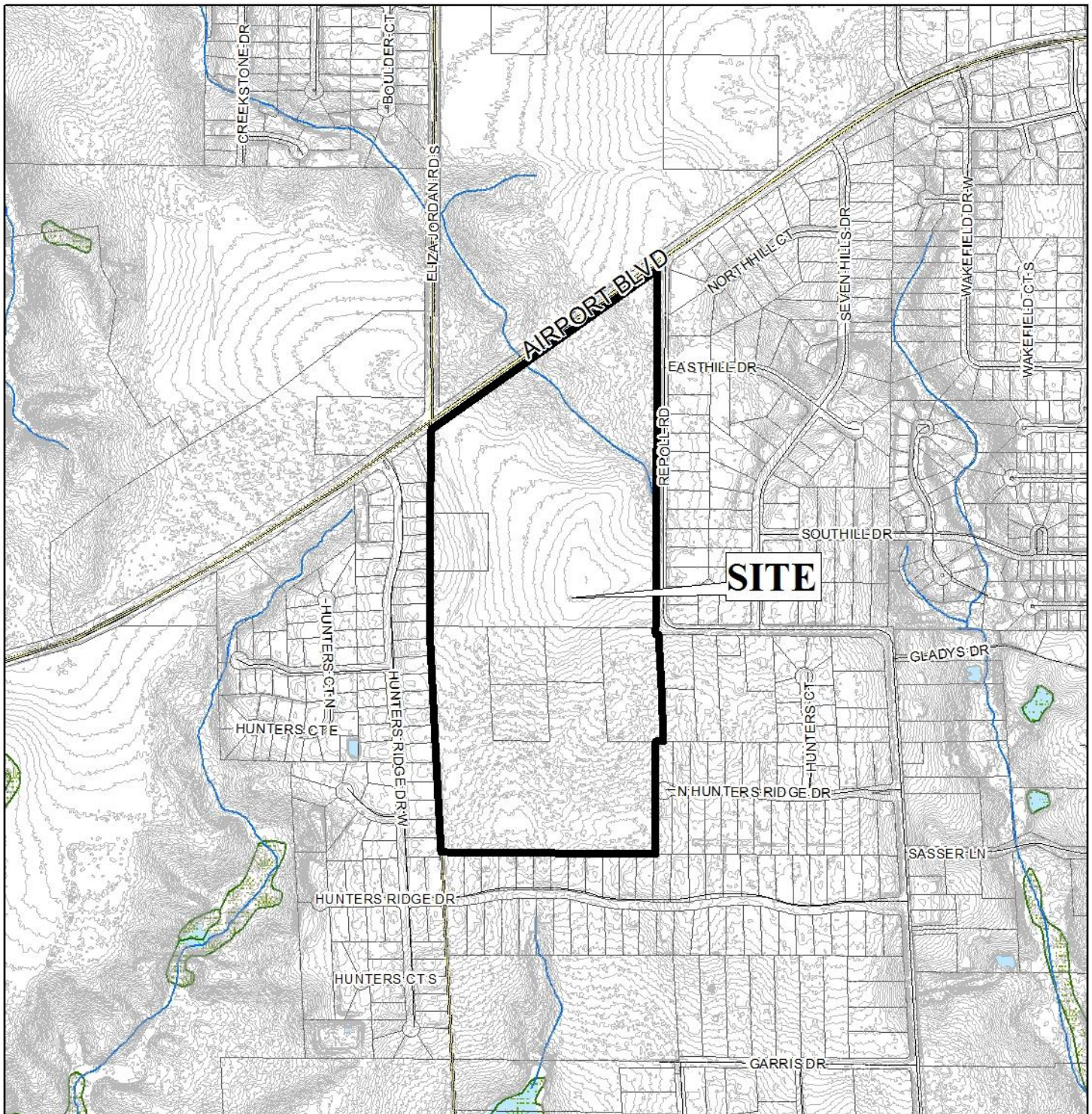
REQUEST Subdivision

Low Density Residential	Neighborhood Center - Traditional	Downtown Waterfront	Parks & Open Space
Mixed Density Residential	Neighborhood Center - Suburban	Light Industry	Water Dependent
Downtown	Traditional Corridor	Heavy Industry	
District Center	Mixed Commercial Corridor	Institutional	





# ENVIRONMENTAL LOCATOR MAP



APPLICATION NUMBER 4 DATE April 19, 2018

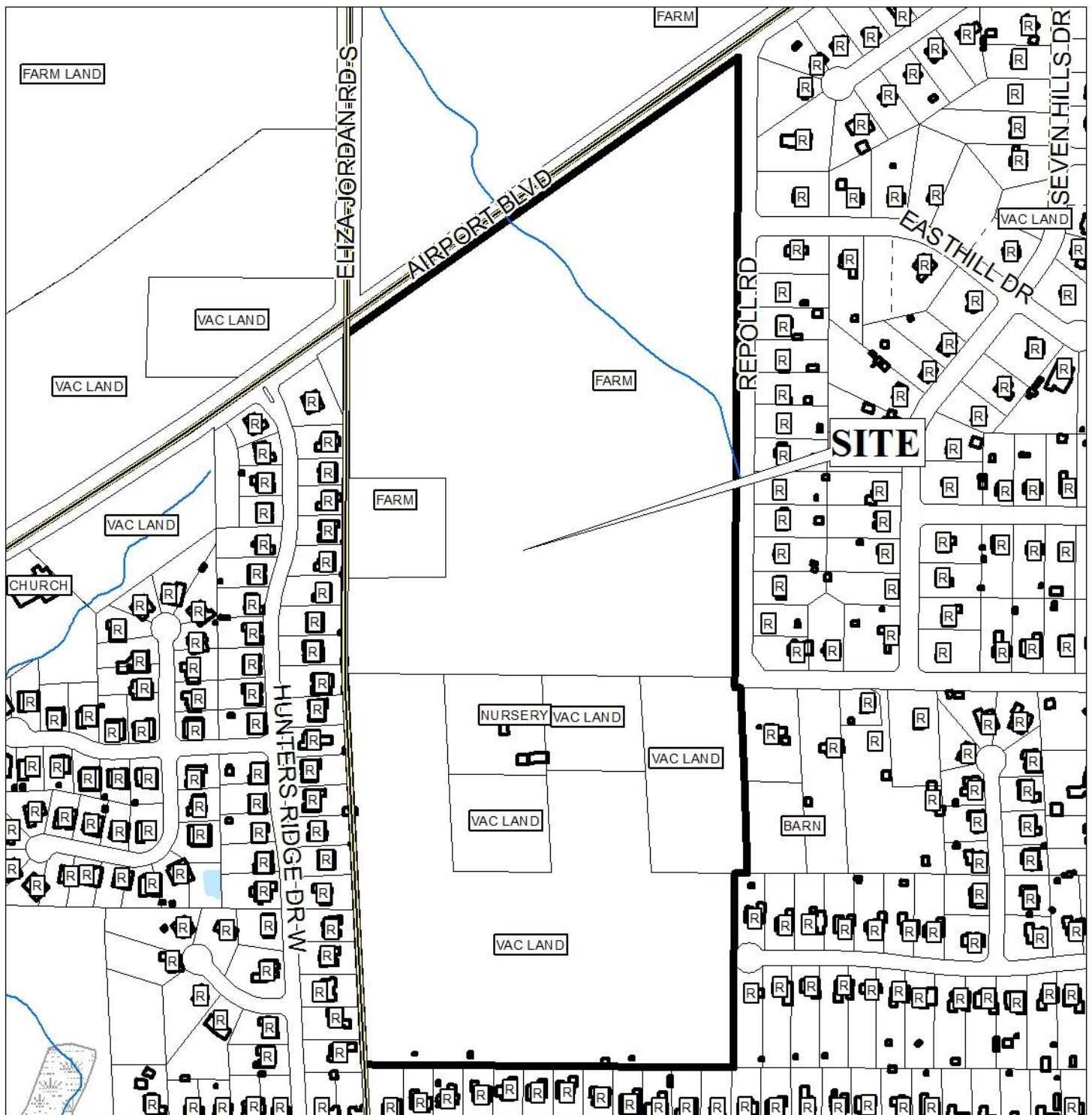
APPLICANT Alabama Pecan Subdivision, Phase I

REQUEST Subdivision





# ALABAMA PECAN SUBDIVISION, PHASE I



APPLICATION NUMBER 4 DATE April 19, 2018

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6





# ALABAMA PECAN SUBDIVISION, PHASE I

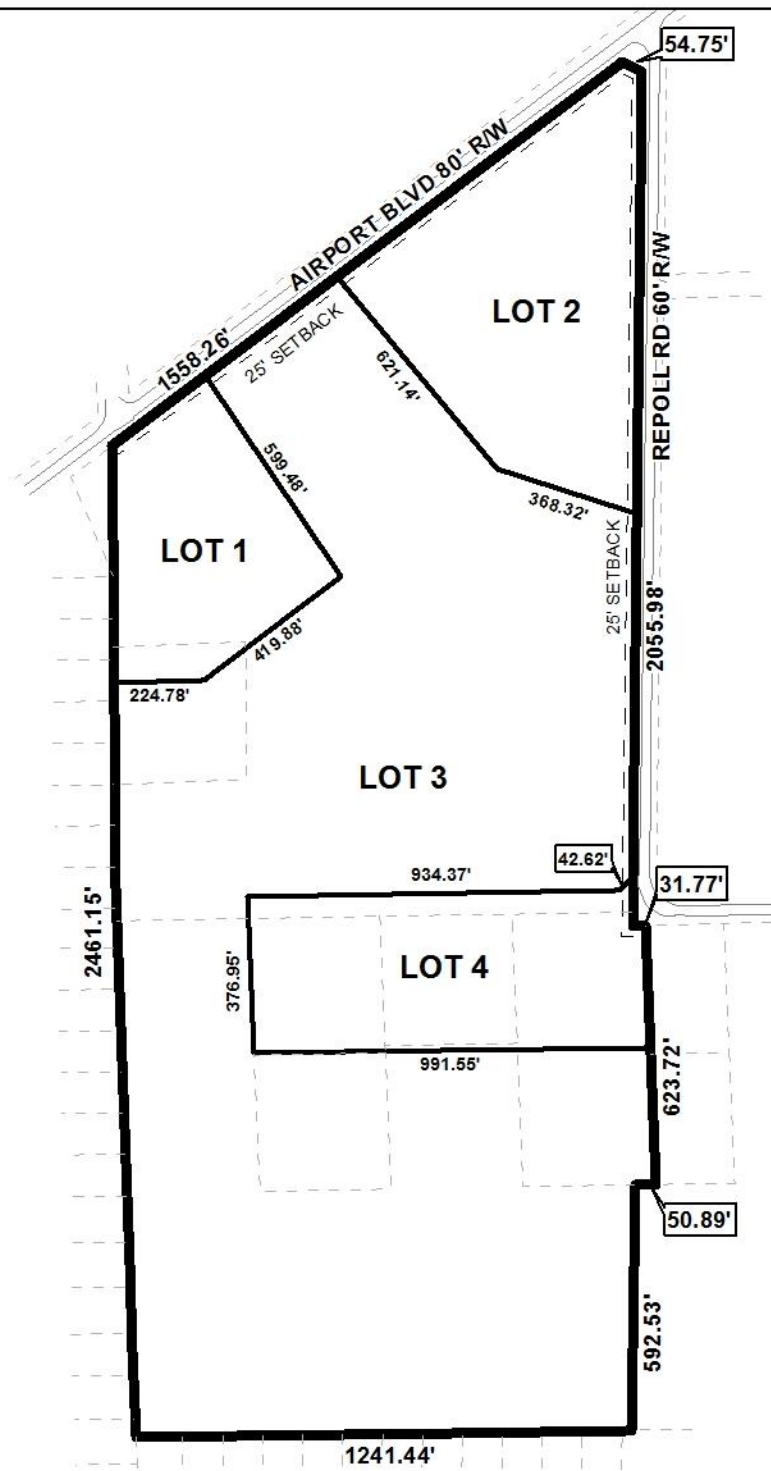


APPLICATION NUMBER 4 DATE April 19, 2018





# DETAIL SITE PLAN



APPLICATION NUMBER 4 DATE April 19, 2018

APPLICANT Alabama Pecan Subdivision, Phase I

REQUEST Subdivision



