

DOUBLE H SUBDIVISION, RESUBDIVISION OF LOT 1

Engineering Comments: Must comply with all storm water and flood control ordinances. Any increase in impervious area in excess of 4,000 square feet will require detention. Any work performed in the right of way (including easements) will require a right of way permit, in addition to any required land disturbance permits. Any existing damaged sidewalk panels will need to be replaced. Drainage from any new dumpster pads cannot discharge to storm sewer; must have connection to sanitary sewer.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and ALDOT and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

The plat illustrates the proposed 2-lot, 2.1± acre subdivision which is located at 3212 Dauphin Island Parkway (East side of Dauphin Island Parkway at the East terminus of Tallahassee Drive), and is in Council District 3. The applicant states that the subdivision is served by both public water and sewer.

The purpose of this application is to create two legal lots of record from a legal lot approved in 2000. The proposed Lot 1 contains an existing cell tower that received Planning Approval from the Commission in March 2003 to allow a monopole telecommunications tower in a B-3, Community Business District.

The site has frontage on Dauphin Island Parkway, a proposed major street providing 100' of right-of-way. A condition of the 2000 subdivision approval required dedication to provide 50-feet from the centerline of Dauphin Island Parkway; thus, no dedication is required.

While Dauphin Island Parkway is a major street, access management is still a concern; therefore, a note should be placed on the Final Plat stating that each lot is limited to one curb-cut along Dauphin Island Parkway with the size, location, and design of any additional curb-cuts to be approved by Traffic Engineering and ALDOT and conform to AASHTO standards.

As proposed, Lots 1 and 2 exceed the maximum width to depth ratio; therefore, a waiver of Section V.D.3. of the Subdivision Regulations would be required.

It should be noted that both lots are labeled on the plat with its size in square feet, and should be retained on the Final Plat, if approved.

The 25-foot minimum building setback line is depicted on the preliminary plat and should be retained on the Final Plat adjusted for any dedication, if approved.

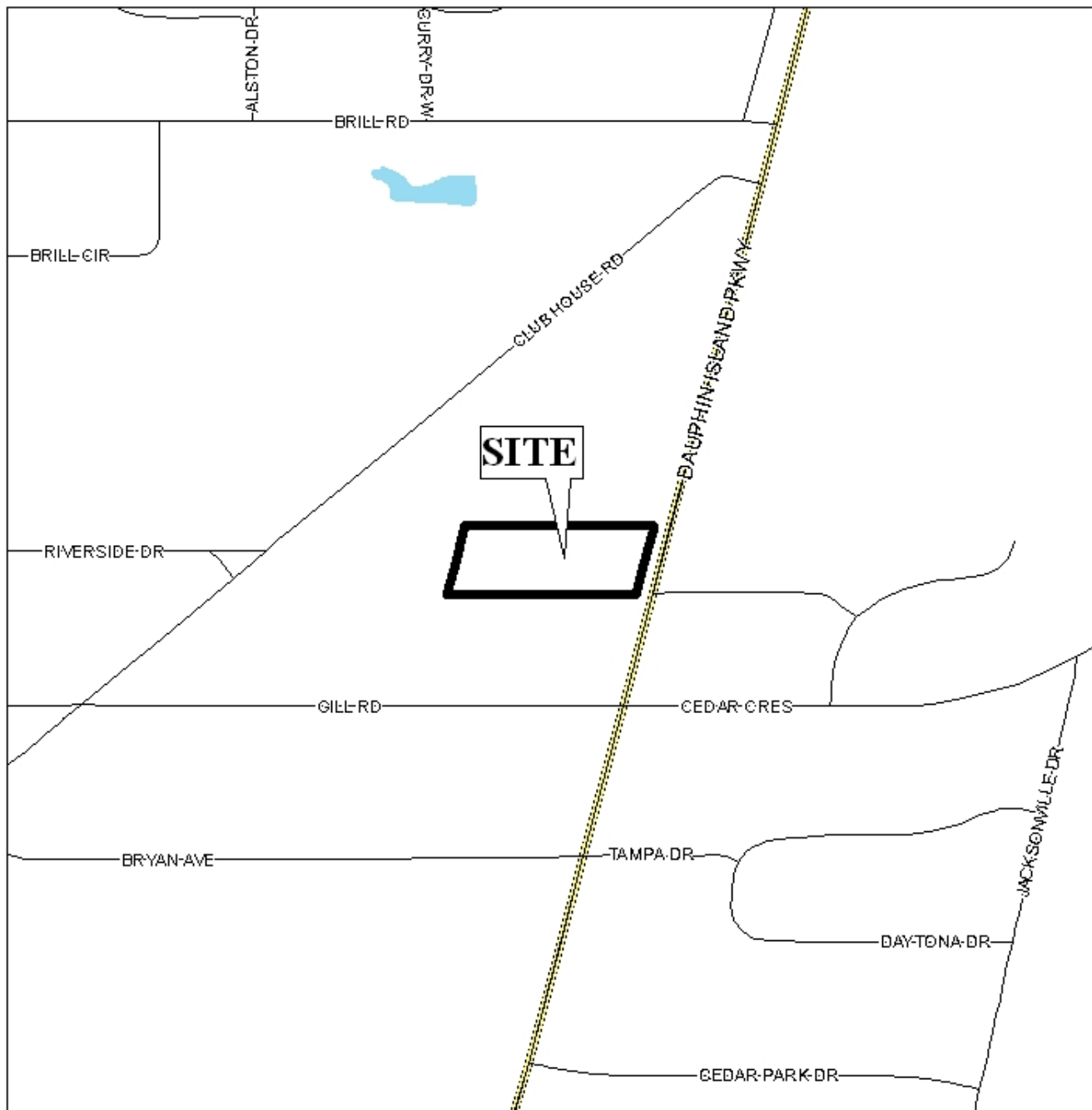
The plat depicts two existing buildings that cross the proposed interior lot line: a demolition permit should be required for each structure prior to the signing of the Final Plat.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Based upon the preceding, and with a waiver of Section V.D.3 of the Subdivision Regulations, the application is recommended for Tentative Approval, subject to the following conditions:

- 1) obtaining of demolition permits for the existing structures crossing the interior lot line prior to signing the Final Plat;
- 2) placement of a note on the Final Plat stating that each lot is limited to one curb-cut along Dauphin Island Parkway with the size, location, and design of any additional curb-cuts to be approved by Traffic Engineering and ALDOT and conform to AASHTO standards;
- 3) retention of the 25-foot minimum building setback line along Dauphin Island Parkway;
- 4) retention of the labeling of the size of the lot, in square feet, or provision of a table on the plat with the same information;
- 5) compliance with Engineering comments: *Must comply with all storm water and flood control ordinances. Any increase in impervious area in excess of 4,000 square feet will require detention. Any work performed in the right of way (including easements) will require a right of way permit, in addition to any required land disturbance permits. Any existing damaged sidewalk panels will need to be replaced. Drainage from any new dumpster pads cannot discharge to storm sewer; must have connection to sanitary sewer;*
- 6) placement of a note on the Final Plat stating that approval of all applicable Federal, state and local agencies for endangered, threatened or otherwise protected species is required prior to the issuance of any permits or land disturbance activities; and
- 7) full compliance with all municipal codes and ordinances.

LOCATOR



APPLICATION NUMBER 4 DATE August 5, 2010

APPLICANT Double H Subdivision, Resubdivision of Lot 1

REQUEST Subdivision



NTS

DOUBLE H SUBDIVISION, RESUBDIVISION OF LOT 1

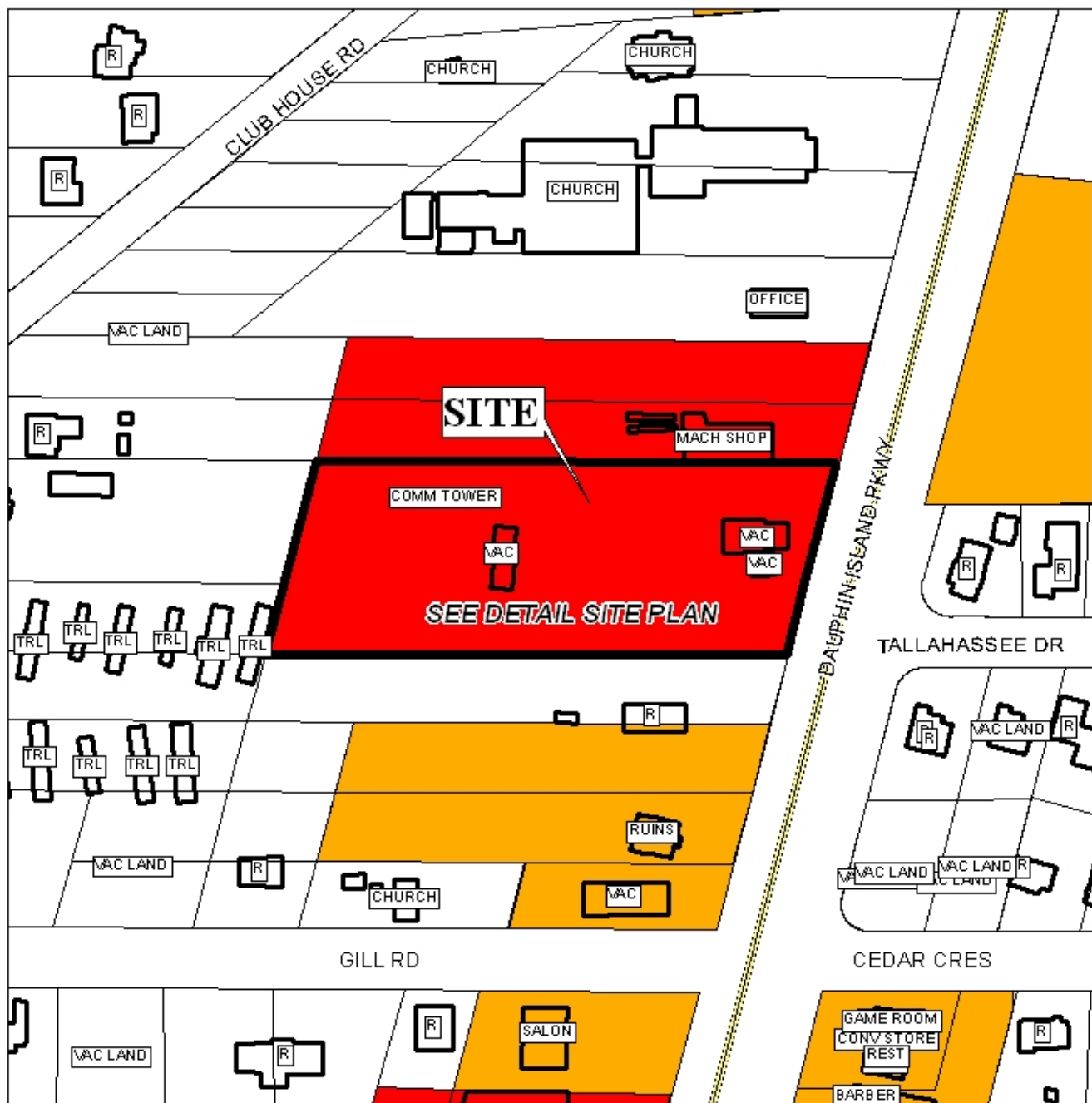


APPLICATION NUMBER 4 DATE August 5, 2010



NTS

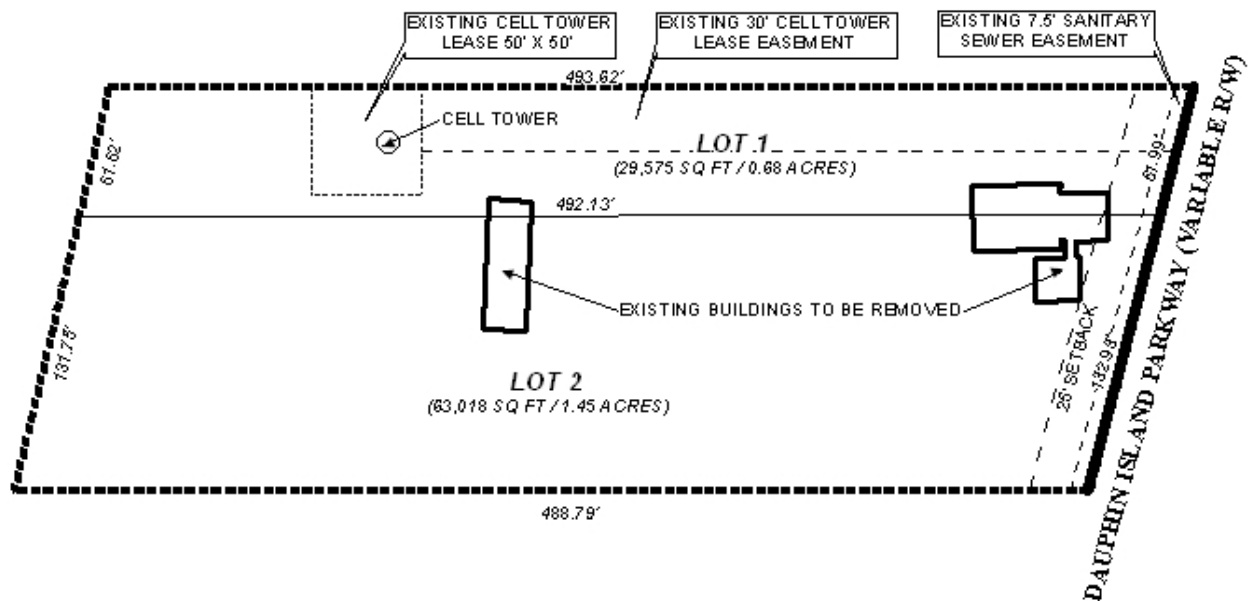
DOUBLE H SUBDIVISION, RESUBDIVISION OF LOT 1



APPLICATION NUMBER 4 DATE August 5, 2010



DETAIL SITE PLAN



APPLICATION NUMBER 4 DATE August 5, 2010

APPLICANT Double H Subdivision, Resubdivision of Lot 1

REQUEST Subdivision

N
NTS