

DORIS DAVIS FAMILY DIVISION SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire-Rescue Department Comments: All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).

MAWSS Comments: MAWSS has **No** water or sewer services available.

The preliminary plat illustrates the proposed 3-lot, 3.0± acre subdivision which is located on the West side of McDonald Road, 760' ± South of Old Pascagoula Road. The site is within the Planning Jurisdiction and the applicant states that the subdivision is served by public water and individual septic systems.

The purpose of this application is to create 3 legal lots of record from two metes-and-bounds parcels.

The proposed lots front McDonald Road, a planned major street as shown on the Major Street Plan Component of the Comprehensive Plan. As a proposed major street, this street requires a 100' wide right-of-way width. The existing right-of-way width is depicted as 60' on the preliminary plat, thus dedication is required to provide 50' from the centerline.

In accordance with the Subdivision Regulations, the proposed lots appear to exceed the minimum lot size requirements for lots with public water and individual septic systems, even after the dedication of right-of-way. The lot size information is depicted in square feet and acres on the preliminary plat and should be retained on the Final Plat, if approved, with revision for dedication for each lot.

The 25-foot minimum building setback line is depicted on the preliminary plat and should be retained on the Final Plat, if approved, revised to reflect dedication.

As a means of access management, a note should be placed on the Final Plat stating that the proposed lots are limited to 1 curb-cut each to McDonald Road, with the size, design and location of the new curb-cuts to be approved by Mobile County Engineering and conform to AASHTO standards.

Lots 2 and 3 are irregularly shaped and will require a waiver of Section V.D.1 of the Subdivision Regulations. The applicant's justification for the flag lots is that the proposed shape of the lots are configured to accommodate the existing dwellings on both Lots 2 and 3 and to bequeath Lot

1 to their grandchild for future development. As there are other irregularly shaped flag lots in the vicinity that have been approved by the Planning Commission, and as this is a family subdivision, a waiver of Section V.D.1 may be appropriate.

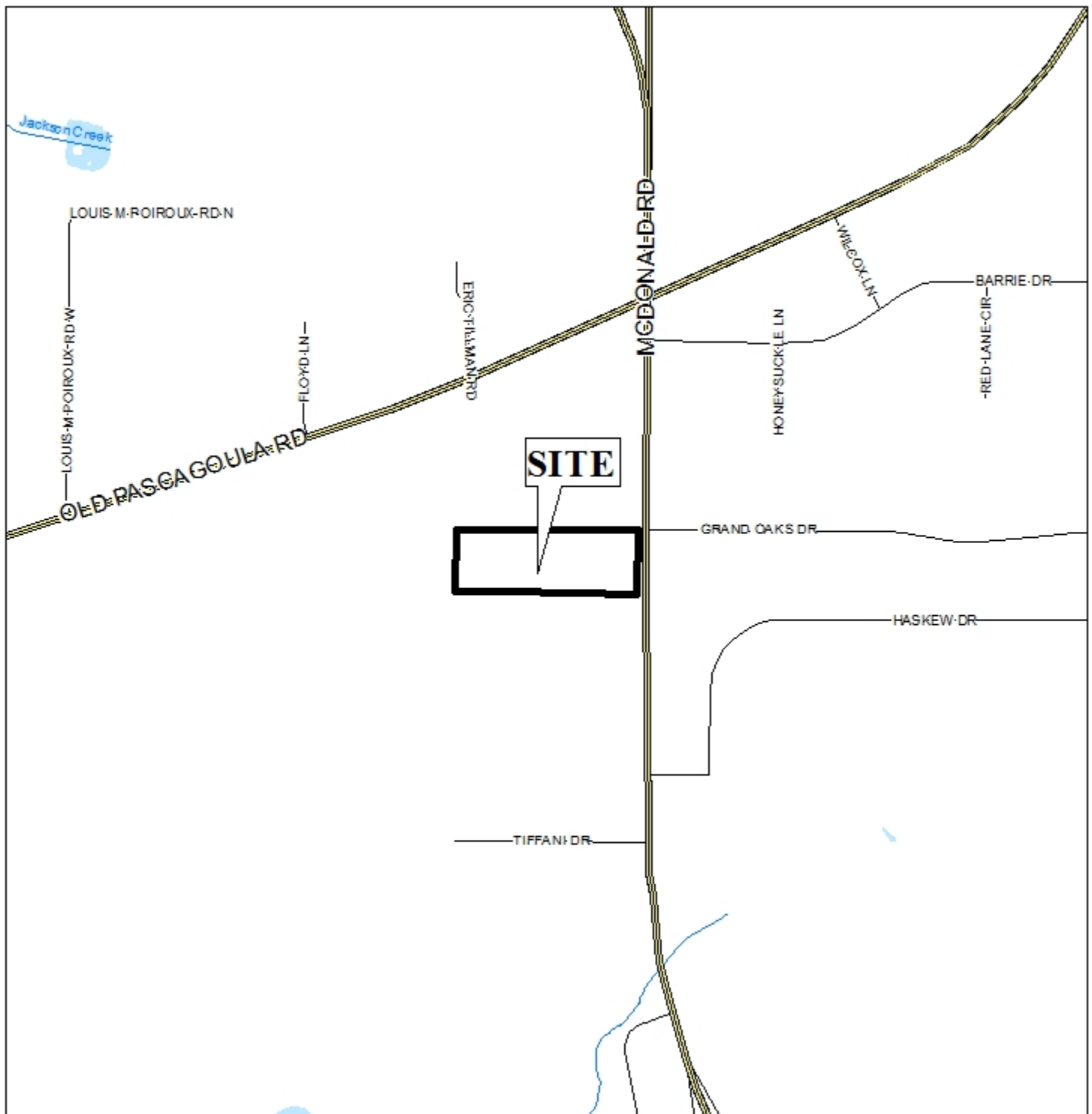
Due to the irregular shapes of Lots 2 and 3, a note should be placed on the Final Plat stating that there shall be no further subdivision until additional frontage on a paved public or private street is provided.

This site is located in the County, therefore any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. A note should be placed on the Final Plat, if approved.

With a waiver of Section V.D.1 of the Subdivision Regulations, the application is recommended for tentative approval, subject to the following conditions:

- 1) Dedication sufficient to provide 50' from the centerline of McDonald Road;
- 2) Retention of the lot size information on the Final Plat, revised for dedication;
- 3) Revision of the 25-foot minimum building setback line to reflect dedication;
- 4) Placement of a note on the Final Plat, if approved, stating that the proposed lots are limited to 1 curb-cut each to McDonald Road, with the size, design and location of the new curb-cuts to be approved by Mobile County Engineering and conform to AASHTO standards;
- 5) Placement of a note on Final Plat stating that there will be no future subdivision of Lots 2 and 3 until additional frontage on a paved public or private street is provided;
- 6) Placement of a note on the Final Plat stating this site is located in the County, and therefore any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations.;
- 7) Compliance with Engineering Comments and placement as a note on the Final Plat: *(Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.).*
- 8) Compliance with Fire Comments: *(All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code). Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).); and*
- 9) Full compliance with all municipal codes and ordinances.

LOCATOR MAP



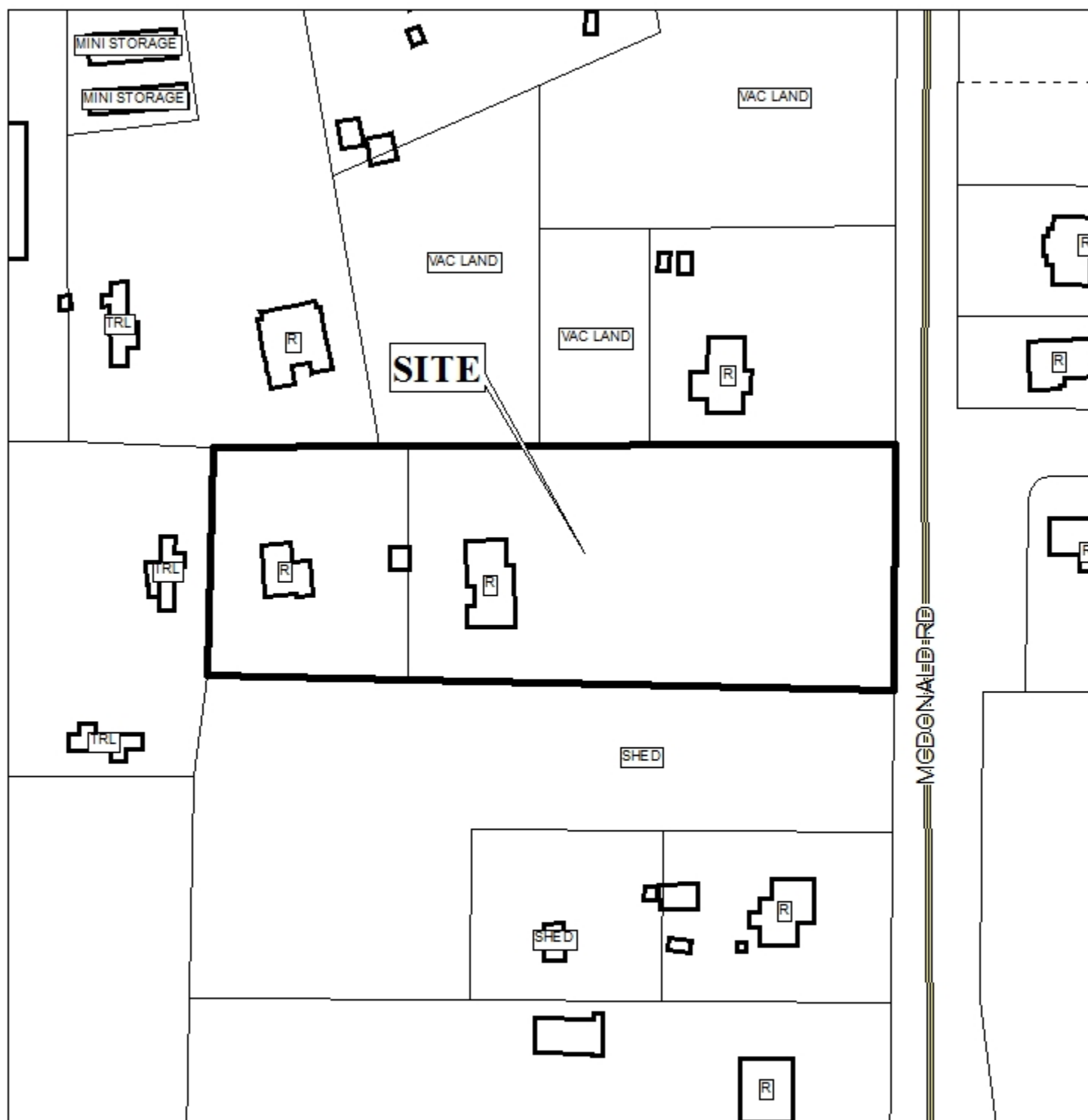
APPLICATION NUMBER 4 DATE June 18, 2015

APPLICANT Doris Davis Family Division Subdivision

REQUEST Subdivision



DORIS DAVIS FAMILY DIVISION SUBDIVISION



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| R-A | R-3 | T-B | B-2 | B-5 | MUN | SD-WH | T5.1 |
| R-1 | R-B | B-1 | B-3 | I-1 | OPEN | T3 | T5.2 |
| R-2 | H-B | LB-2 | B-4 | I-2 | SD | T4 | T6 |



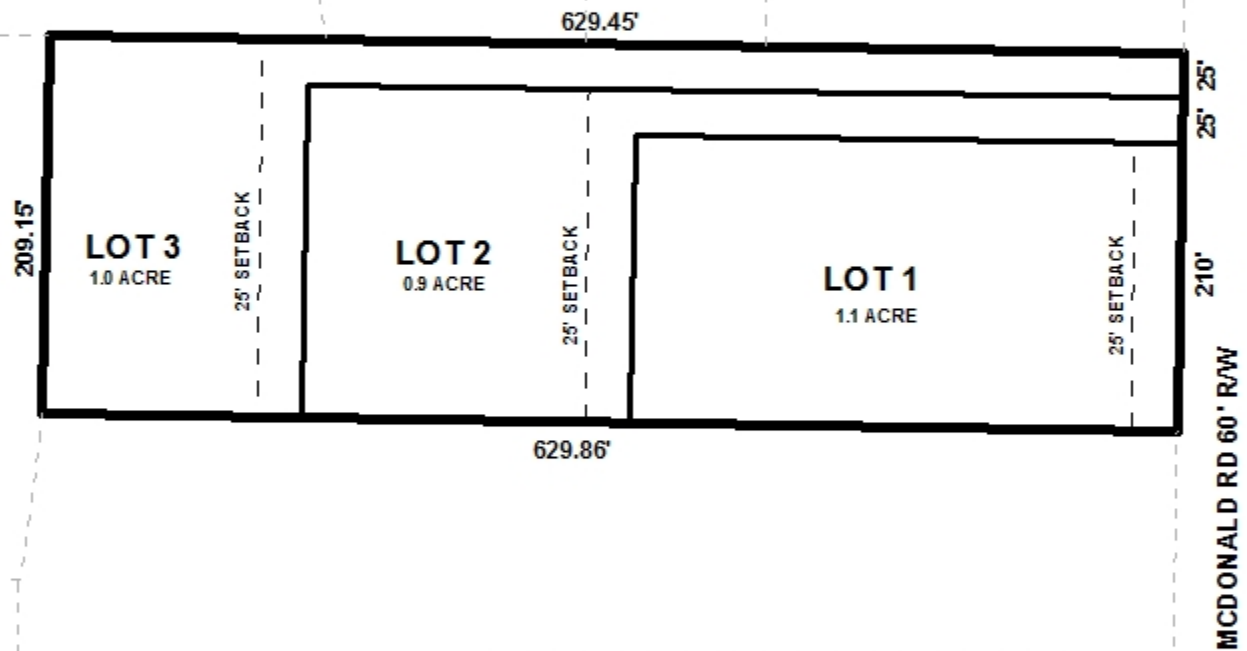
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DETAIL SITE PLAN



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