

## **DAMRICH SUBDIVISION**

Engineering Comments: The following comments should be addressed prior to acceptance and signature by the City Engineer:

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances).
- B. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with the of the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17 , Ordinance #65-007 & #65-045), latest edition. Storm water detention may be required for any future addition(s) and/or land disturbing activity. Also, as shown on the 1984 aerial photo, this lot will receive historical credit of impervious area towards storm water detention requirements. Coordinate with City Engineering Department staff to establish the exact amount prior to the submittal of the Land Disturbance Permit application.
- C. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- D. Revision of the plat to label each lot with its size in acres and square feet, or the furnishing of a table on the Plat providing the same information;
- E. Provide a written legal description for the proposed subdivision and matching bearing and distance labels.
- F. Show and label all flood zones.
- G. Show and label the MFFE (Minimum Finished Floor Elevation) on each lot that contains an AE, V, or X (shaded) flood zone designation.
- H. Show and label each and every Right-Of-Way and easement.
- I. Provide and label the monument set or found at each subdivision corner.
- J. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer.
- K. Provide the Surveyor's Certificate and Signature.
- L. Provide the Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- M. Add a note that sidewalk is required to be constructed along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved.
- N. Do not provide a County Engineer's signature block on the Plat. The County Engineer no longer signs plats within the municipal limits of the City of Mobile.
- O. Clarify the actual Subdivision boundary on the Plat; indicating any existing parcels adjacent to Lot 1.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

The plat illustrates the proposed 0.6 acre  $\pm$ , 1 lot subdivision which is located on North side of Texas Street, 96'  $\pm$  East of South Conception Street, and is in Council District 2. The applicant states that the subdivision is served by both public water and sanitary sewer.

The purpose of this application is to create a legal lot from a metes and bounds parcel.

The site fronts onto Texas Street, a minor street with curb and gutter and adequate right of way. The site also has frontage onto an unimproved public alley along its eastern and a portion of its northern boundaries.

Due to the limited width of the proposed lot, 40  $\pm$  feet, access management is a concern. The site should be limited to one curb-cut, with the size, design and location to be approved by Traffic Engineering and conform to AASHTO standards. Access to the unimproved alley should be denied.

Due to the substandard width of the proposed lot (40  $\pm$  feet), and the substandard size in terms of area (3,400  $\pm$  square feet), a waiver of Section V.D.2. of the Subdivision Regulations would be required to approve the requested subdivision.

The 25-foot minimum building setback line, required in Section V.D.9., is not shown for the subdivision, but would be required on the final plat, if approved.

The preliminary plat does not include the size of the proposed lot in square feet or acres. The final plat should include this information.

It appears that the site may be located in AE and X-shaded flood zones associated with the Mobile River and Mobile Bay. The potential presence of floodplains indicate that the area may be environmentally sensitive; therefore, the approval of all applicable federal, state and local agencies would be required prior to the issuance of any permits or land disturbance activities.

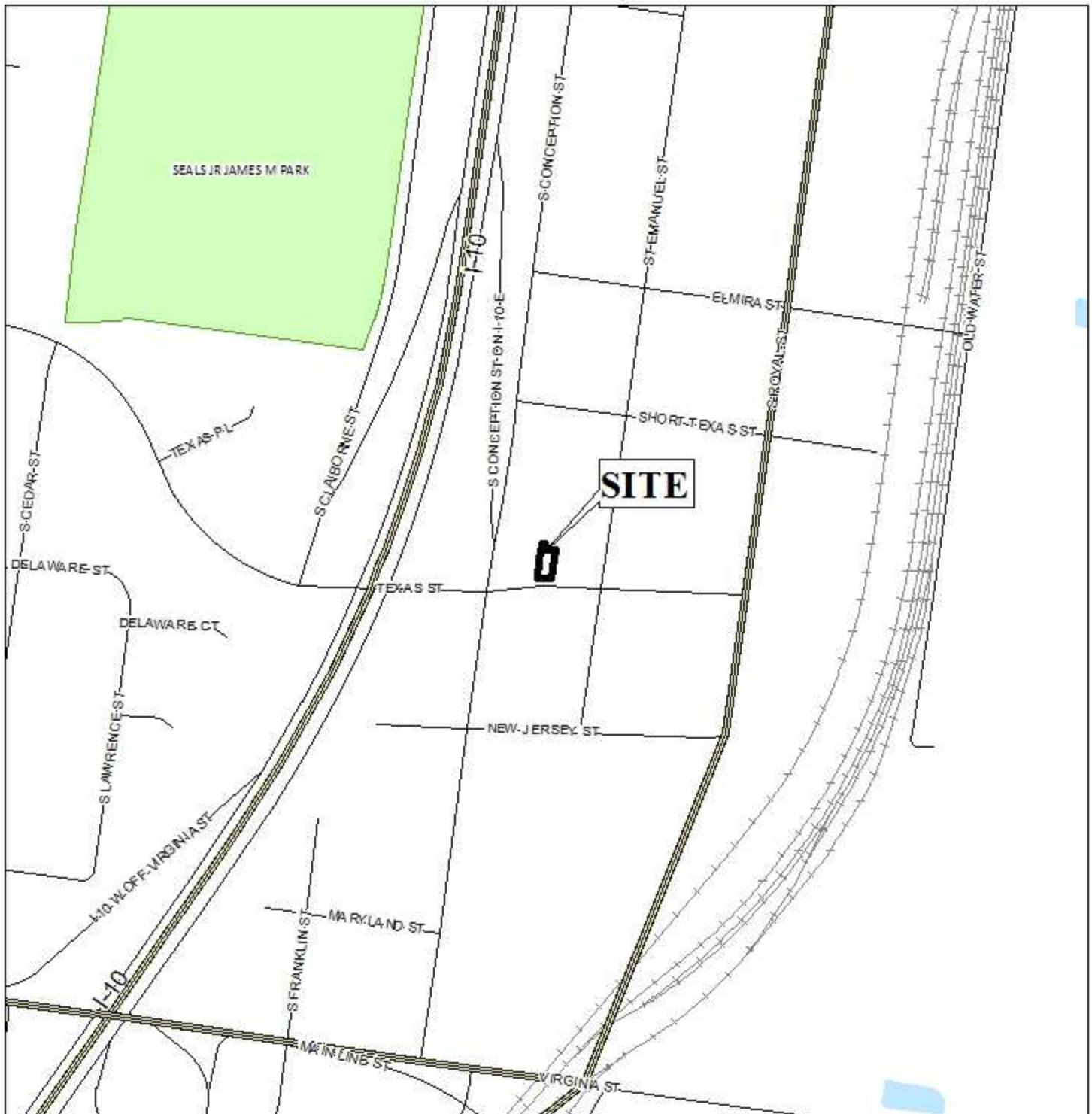
The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Based upon the preceding, and with a waiver of Section V.D.2. of the Subdivision Regulations, the application is recommended for Tentative Approval, subject to the following conditions:

- 1) placement of a note on the final plat stating that the lot is denied access to the adjacent unimproved alley;
- 2) placement of a note on the final plat stating that the lot is limited to one (1) curb-cut, with the size, design and location of the curb-cut to be approved by Traffic Engineering and conform to AASHTO standards.
- 3) depiction of the 25-foot minimum building setback line, as required by Section V.D.9. of the Subdivision Regulations;

- 4) the labeling of the lot with its size in square feet, or placement of a table on the plat with the same information;
- 5) compliance with Engineering comments (*The following comments should be addressed prior to acceptance and signature by the City Engineer: A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances). B. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with the of the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045), latest edition. Storm water detention may be required for any future addition(s) and/or land disturbing activity. Also, as shown on the 1984 aerial photo, this lot will receive historical credit of impervious area towards storm water detention requirements. Coordinate with City Engineering Department staff to establish the exact amount prior to the submittal of the Land Disturbance Permit application. C. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. D. Revision of the plat to label each lot with its size in acres and square feet, or the furnishing of a table on the Plat providing the same information; E. Provide a written legal description for the proposed subdivision and matching bearing and distance labels. F. Show and label all flood zones. G. Show and label the MFFE (Minimum Finished Floor Elevation) on each lot that contains an AE, V, or X (shaded) flood zone designation. H. Show and label each and every Right-Of-Way and easement. I. Provide and label the monument set or found at each subdivision corner. J. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer. K. Provide the Surveyor's Certificate and Signature. L. Provide the Owner's (notarized), Planning Commission, and Traffic Engineering signatures. M. Add a note that sidewalk is required to be constructed along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved. N. Do not provide a County Engineer's signature block on the Plat. The County Engineer no longer signs plats within the municipal limits of the City of Mobile. O. Clarify the actual Subdivision boundary on the Plat; indicating any existing parcels adjacent to Lot 1.)*)
- 6) compliance with Traffic Engineering comments (*Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.*);
- 7) compliance with Urban Forestry comments (*Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).*);
- 8) compliance with Fire comments (*All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.*);
- 9) approval of all applicable federal, state and local agencies regarding flood zones issues prior to the issuance of any permits or land disturbance activities; and
- 10) Placement of a note on the plat stating that approval of all applicable Federal, state and local agencies is required for endangered, threatened or otherwise protected species, if any, prior to the issuance of any permits or land disturbance activities.

# LOCATOR MAP



APPLICATION NUMBER 4 DATE April 7, 2014

APPLICANT Damrich Subdivision

REQUEST Subdivision



# DAMRICH SUBDIVISION



APPLICATION NUMBER 4 DATE April 3, 2014

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2





# DAMRICH SUBDIVISION



APPLICATION NUMBER 4 DATE April 3, 2014

