

BEBO'S OLD SHELL SUBDIVISION

Engineering Comments: FINAL PLAT COMMENTS (should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer):

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Dedicate the corner radius (25' minimum or as approved by the City Engineer and Traffic Engineer) at the northeast corner of Bishops Lane and Old Shell Road.
- C. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer.
- D. Provide the Surveyor's Certificate and Signature.
- E. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- F. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- G. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- H. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved.
- I. Provide a copy of the FINAL PLAT to the Engineering Dept. for FINAL PLAT review prior to obtaining any signatures.
- J. After FINAL PLAT review by the Engineering Dept. provide the red-line markup, a copy of the revised original Final Plat, and the original when submitting for City Engineer signature.

Traffic Engineering Comments: Lot is limited to its existing curb cuts, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards. Any new on-site parking, including ADA handicap spaces, shall meet the minimum standards as defined in Section 64-6 of the City's Zoning Ordinance.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).

Fire-Rescue Department Comments: All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code).

MAWSS Comments: MAWSS has water and sewer services available, but a Capacity Assurance application for additional sewer service has not been applied for. MAWSS cannot guarantee additional sewer service until a Capacity application is approved by Volkert Engineering Inc.

Map for Mobile Development Area(s) and Intent: Traditional Corridor

- Emphasize retaining historic buildings and creating appropriate, denser infill development
- Encourage mixed housing types including small multi-family structures along the corridor
- Retail and neighborhood services at intersections
- Combine and close driveways to create continuous pedestrian friendly environment
- Auto, bicycle, transit and pedestrian traffic are accommodated
- More dense mixed-use development to include neighborhood services and residential above retail

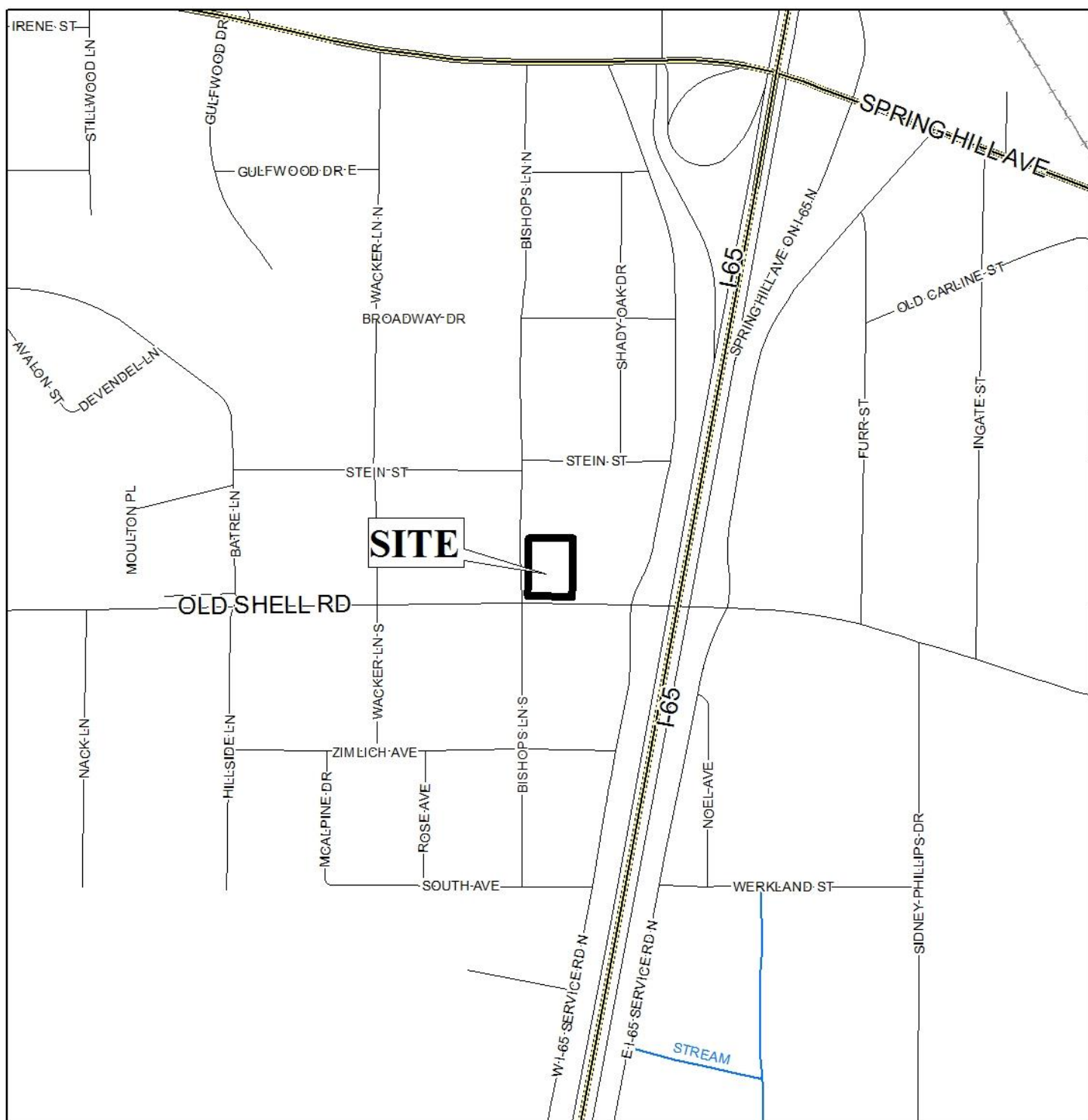
The plat illustrates the proposed 1-lot, 0.7± acre subdivision which is located at the Northeast corner of Old Shell Road and Bishops Lane North within Council District 7. The applicant states that the subdivision is served by city water and sanitary sewer systems. The purpose of this application is to create one legal lot of record from two legal lots of record.

There appears to be a discrepancy between the parcel information contained within the City's mapping system and the boundaries of the proposed subdivision: it appears that the subdivision is not including the entirety of the tax parcel owned by the applicant. Staff research shows that a 20 x 155 foot area along Old Shell Road, not included in the application is, in fact, owned by the applicant. This area was originally acquired by the City of Mobile in 1960, however, in 2009, the applicant at hand purchased the property back from the City. Therefore, it is recommended that the request be heldover so that the preliminary plat can be revised to include the entirety of the tax parcel.

Based upon the preceding, this application is recommended for Holdover until the December 1st meeting, with revisions due by November 14th, so that the following can occur:

- 1) Revision of the preliminary plat to include that property described in the Warranty Deed recorded in Book 6505, Page 1074, of Mobile County Probate Court.

LOCATOR MAP



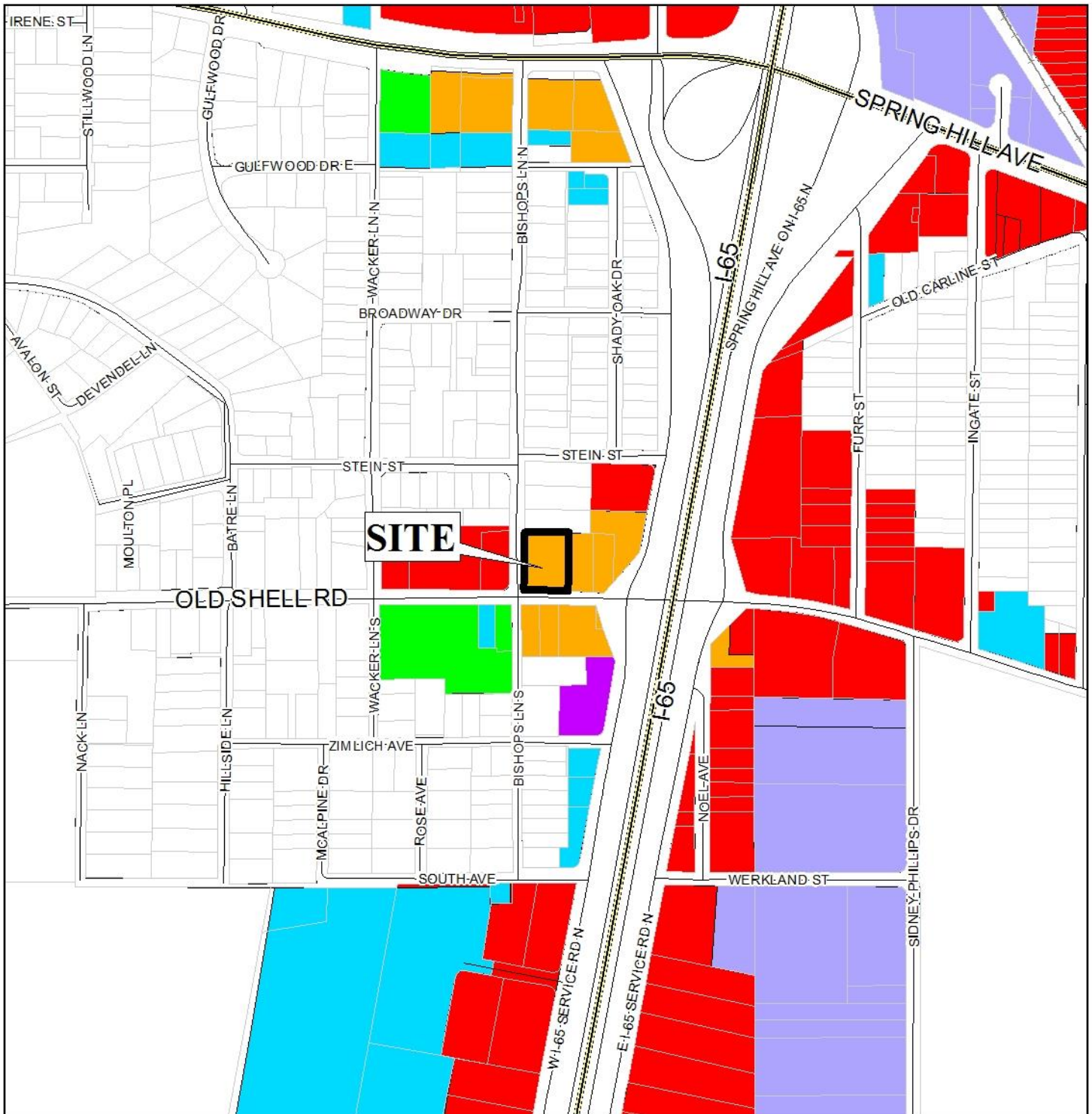
APPLICATION NUMBER 4 DATE November 3, 2016

APPLICANT Bebo's Old Shell Subdivision

REQUEST Subdivision



LOCATOR ZONING MAP



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REQUEST Subdivision



NTS

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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



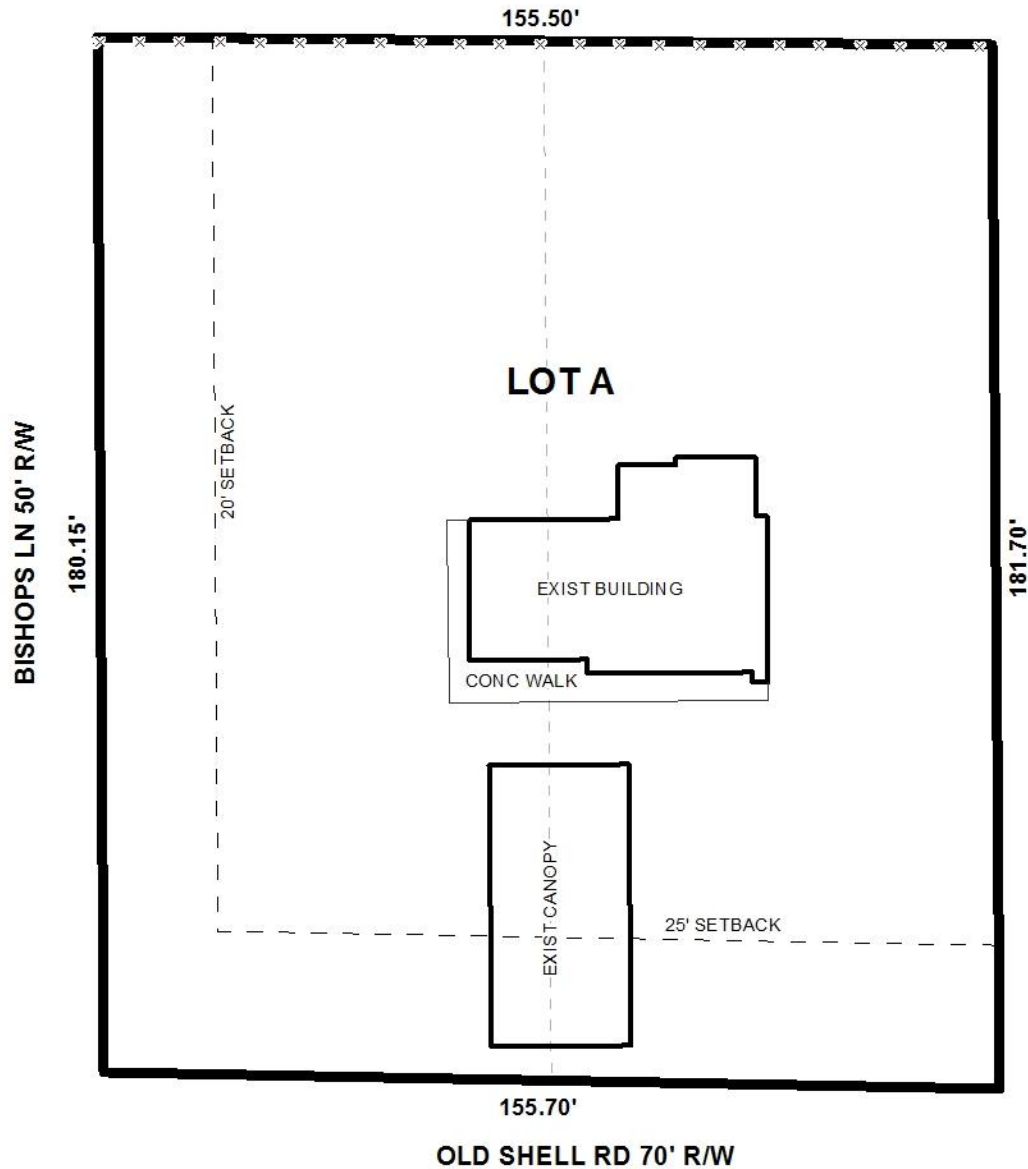
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DETAIL SITE PLAN



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