

## **BASFORD SUBDIVISION**

Engineering Comments: The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. Correct the spelling of Moffat Rd. to Moffett Rd. in the vicinity map.
- C. Indicate that the corner is dedicated to the City of Mobile. Provide a legible legend.
- D. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer.
- E. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- F. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- G. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- H. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved.
- I. It is recommended that the applicant provide a copy of the FINAL PLAT to the Engineering Dept. for review prior to obtaining any signatures.
- J. Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.

Traffic Engineering Comments: Each lot is limited to one curb cut, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire-Rescue Department Comments: All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code).

MAWSS Comments: No Comments

The plat illustrates the proposed 2-lot, 0.92± acre subdivision which is located on the Southeast corner of Howells Ferry Road and Dover Street within Council District 7. The applicant states that the subdivision is served by city water and sanitary sewer systems.

The purpose of this application is to create two legal lots of record from one metes-and-bound parcel.

This site received approval by the Planning Commission at its June 20, 2002 meeting to subdivide the subject site into three legal lots of record from one metes-and-bounds parcel; however, the Final Plat was never recorded and the application has since expired.

Currently, there is a residence and garage located on the metes-and-bounds parcel. The portion of the property containing both the residence and the garage structure will be retained on the proposed Lot 2, and the proposed Lot 1 will continue to be comprised of vacant land at this time.

The proposed lots front both Howells Ferry Road and Dover Street. Howells Ferry Road is a minor street, without curb and gutter, which requires a 60' right-of-way width. Dover Street is a minor street, with curb and gutter, and requires a right-of-way width of 50'. The Final Plat, if approved, should be revised to reflect dedication sufficient to provide 30' from the centerline of Howells Ferry Road.

Being that the subject site has frontage along both Howells Ferry Road and Dover Street, the applicant must ensure that the property lines at this intersection provide a compliant curb radius in compliance with Section V.D.6. of the Subdivision Regulations. The curbed radius is depicted on the preliminary plat and should be retained on the Final Plat, if approved.

The preliminary plat depicts side and rear yard setbacks: the Subdivision Regulations only require depiction of setbacks from the right-of-way. The Zoning Ordinance; however, does require rear and side yard setbacks. If the applicant wishes to show side and rear yard setbacks which meet Zoning Ordinance requirements, then side yard setbacks for Lot 2 should be revised on the Final Plat, if approved, so that the sum of both side yards equal 20' and not 16' as indicated on the preliminary plat.

A 25-foot minimum building setback line is depicted on the preliminary plat along both Howells Ferry Road and Dover Street and, if approved, should be retained on the Final Plat, adjusted for any required dedication along Howells Ferry Road.

In accordance with Section V.D.2. of the Subdivision Regulations, the proposed lot appears to exceed the 7,200 square foot minimum lot size requirements for lots served by public water and sanitary sewer systems. The lot size information is depicted in both square feet and in acres on the preliminary plat and should be retained on the Final Plat, if approved, adjusted for any required dedication.

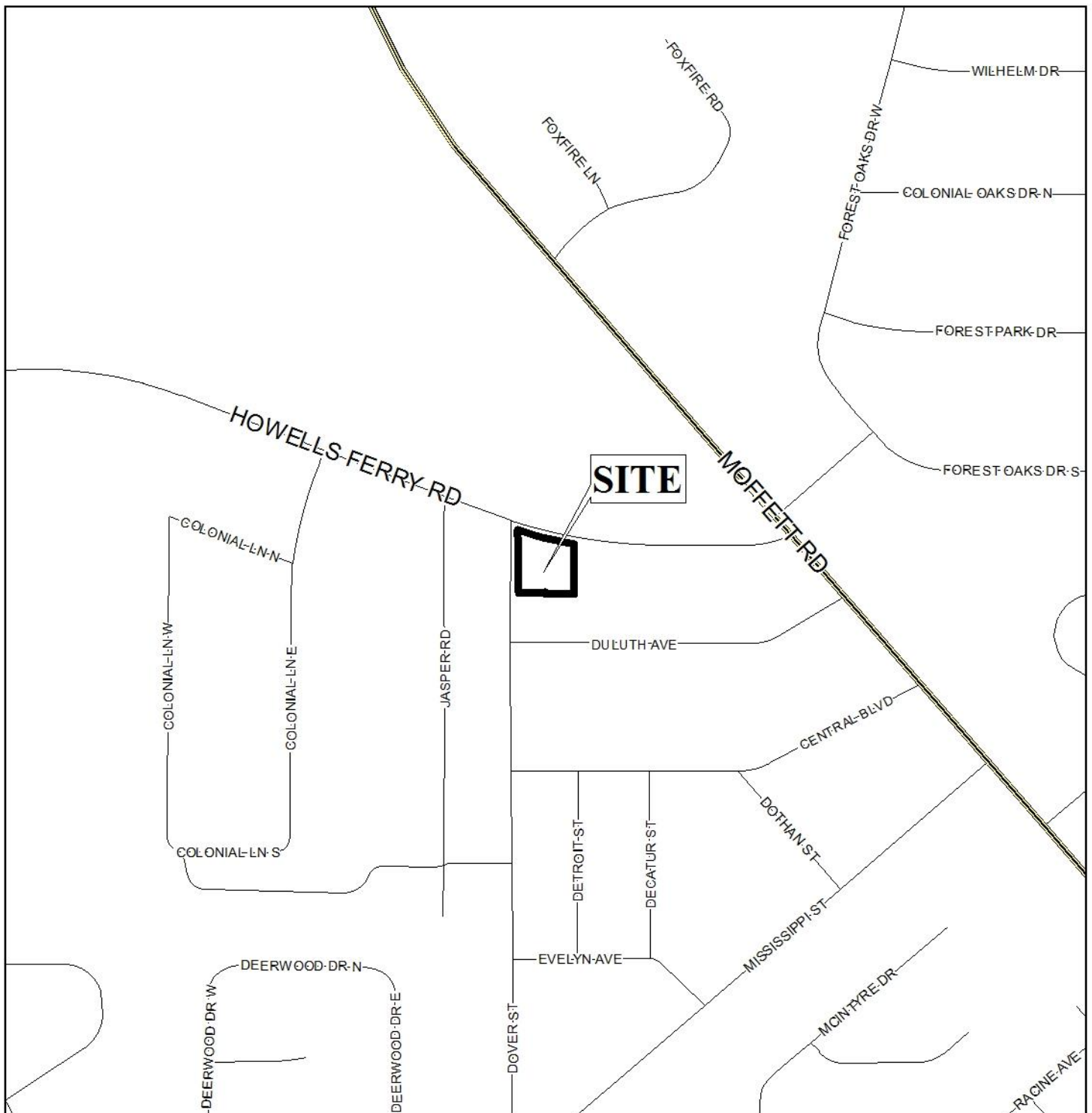
As a means of access management, a note should be placed on the Final Plat, if approved, stating that the proposed Lot 1 is limited to one curb cut to Dover Street and that the proposed Lot 2 is limited to the existing curb-cut to Howells Ferry Road, with the size, design and location of any new or existing curb-cuts to be approved by Traffic Engineering and conform to AASHTO standards.

Based upon the preceding, this application is recommended for Tentative Approval, subject to the following conditions:

- 1) Dedication sufficient to provide 30' from the centerline of Howells Ferry Road;
- 2) Retention of the dimensioned curb radius at the intersection of Howells Ferry Road and Dover Street;

- 3) Revision of the side yard setbacks for Lot 2 so that the sum of both side yards equal 20', if the applicant chooses to depict Zoning Ordinance compliant side yards;
- 4) Retention of the 25' minimum building setback line along Howells Ferry Road and Dover Street, adjusted for dedication;
- 5) Retention of the lot size information on the Final Plat, adjusted for dedication;
- 6) Placement of a note on the Final Plat stating that the proposed Lot 1 is limited to one curb cut to Dover Street and that the proposed Lot 2 is limited to the existing curb-cut to Howells Ferry Road, with the size, design and location of any new or existing curb-cuts to be approved by Traffic Engineering and conform to AASHTO standards.;;
- 7) Compliance with Engineering comments (*The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:*  
A. *Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.* B. *Correct the spelling of Moffat Rd. to Moffett Rd. in the vicinity map.* C. *Indicate that the corner is dedicated to the City of Mobile. Provide a legible legend.* D. *Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer.* E. *Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.* F. *Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.* G. *Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.* H. *Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved.* I. *It is recommended that the applicant provide a copy of the FINAL PLAT to the Engineering Dept. for review prior to obtaining any signatures.* J. *Provide a copy of the Final Plat along with the original when submitting for City Engineer signature.);*
- 8) Compliance with Traffic Engineering comments (*Each lot is limited to one curb cut, with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.);*
- 9) Compliance with Urban Forestry comments (*Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).); and*
- 10) Compliance with Fire Department comments and placement of a note (*All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code).*

# LOCATOR MAP



APPLICATION NUMBER 4 DATE April 7, 2016

APPLICANT Brasford Subdivision

REQUEST Subdivision



NTS

# BRASFORD SUBDIVISION



APPLICATION NUMBER 4 DATE April 7, 2016

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



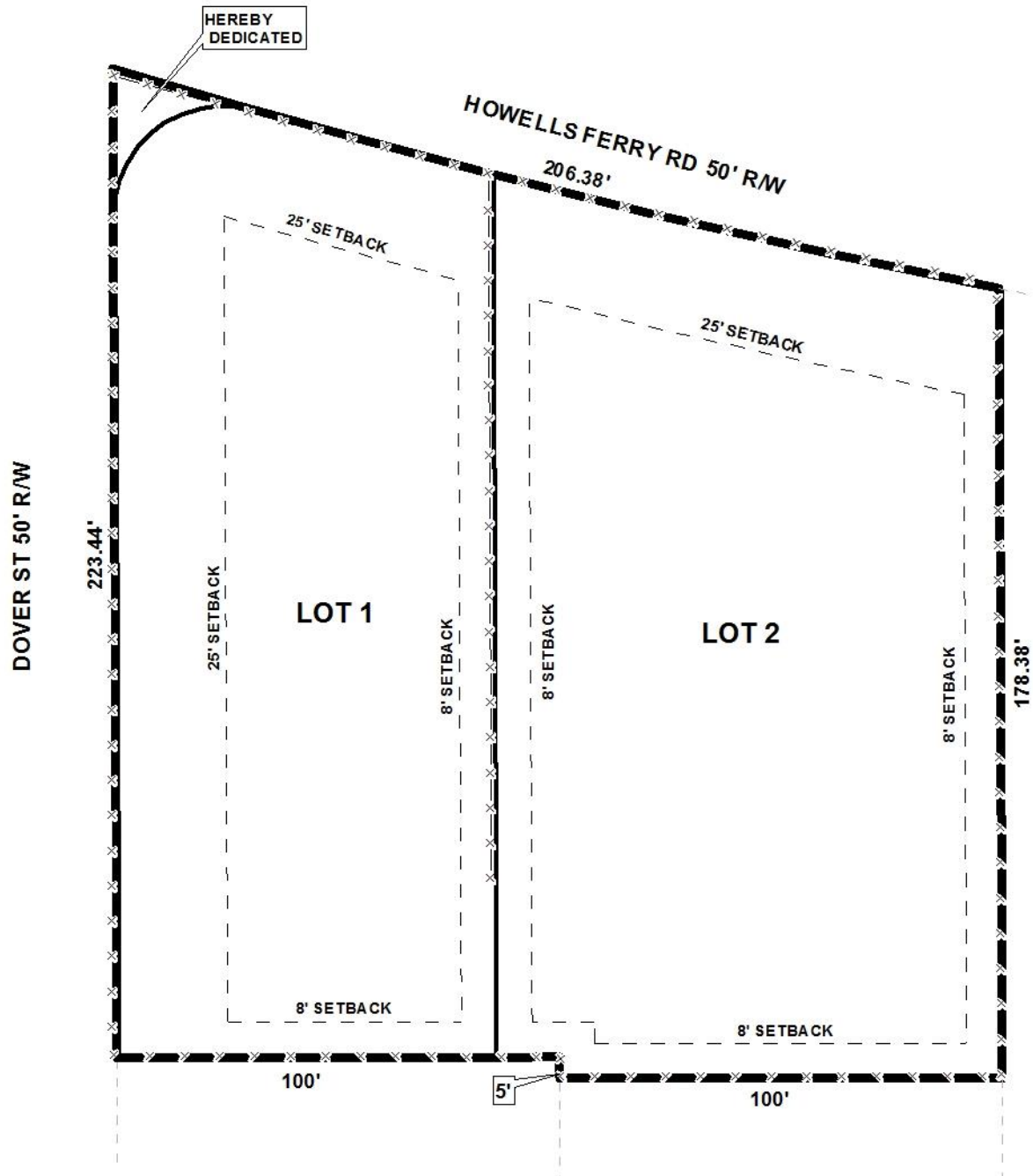
# BRASFORD SUBDIVISION



APPLICATION NUMBER 4 DATE April 7, 2016



# DETAIL SITE PLAN



APPLICATION NUMBER 4 DATE April 7, 2016

APPLICANT Brasford Subdivision

REQUEST Subdivision

