

BALL SUBDIVISION

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. New public roads shall be constructed and paved to standards for County Maintenance, and accepted by Mobile County, while new private roads shall be constructed and paved to minimum County or Subdivision Regulation standards, whichever are greater.

Fire Department Comments: Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code. (2012 IFC).

MAWSS Comments: No comments.

The plat illustrates the proposed 1-lot, 29.3± acre subdivision located on the South side of Cottage Hill Road, 340'± East of Jeff Hamilton Road, within the Planning Jurisdiction. The applicant states that the subdivision is served by public water and sanitary sewer services.

The purpose of this application is to create one legal lot of record from an existing metes-and – bounds parcel and an unopened street stub right-of-way (proposed to be vacated).

The subject site was originally proposed as part of Cottage Hill Park Subdivision which was approved by the Commission in 1972 as a 43-lot subdivision. The subject site was to contain 26 of those lots and have an internal street connecting Cottage Hill Road to the vacant property to the South which was later developed as Hamilton Creek Estates, 2nd Addition, approved by the Commission in 1985. However, of the originally-proposed 43 lots for Cottage Hill Park Subdivision, only 17 were recorded as Unit One, with 13 being adjacent to the subject site along its North boundary and 4 across Jeff Hamilton Road. The subject site was never recorded as part of the proposed Cottage Hill Park Subdivision and was never developed.

The unopened public street stub from Cottage Hill Road is proposed to be combined with the larger internal parcel to serve as a driveway access point. However, as it is public right-of-way, it cannot be included as part of the Subdivision until vacated. Vacation was attempted by the property owner at the Commission's July 17th meeting and heldover until the August 18th meeting to allow the owner to submit a Subdivision application in order to combine the larger parcel and the stub. The Subdivision application was not submitted and the Vacation was denied. Now that the Subdivision application is present, it indicates the proposed combining of the larger parcel and the street stub. Thus, if the Subdivision is approved, it should be contingent on the vacation of the public street stub from Cottage Hill Road prior to signing the Final Plat.

The Subdivision would have frontage on Cottage Hill Road and the proposed Laurendine Road-Half Mile Road-New Connection-March Road Extension, which are both components of the Major Road Plan with planned 100' rights-of-way. Cottage Hill Road has a variable right-of-way width along the street stub, but as no dedication was required with the recording of Cottage Hill Park Subdivision, Unit One, none should be required with the currently proposed one. The

25' front setback should be blocked-out on the Final Plat as measured from the South terminus of the current street stub. Along the West side of the site, the property line is the center of the proposed new road. Therefore, the future right-of-way line should be illustrated 50' from the West property line and the front setback line should be measured 25' in from the future right-of-way line, or 75' from the current West boundary of the site. To the South the North terminus of Scenic Park Drive North stubs against the site. A 25' minimum building setback line should be blocked-out at this street stub. Also, it appears that two lots of the originally-recorded Cottage Hill Park Subdivision, Unit One, have been acquired as public right-of-way by the County. Therefore, a 25' minimum building setback line should be blocked-out along this area.

As the street stub from Cottage Hill Road is intended to be the access to the site, a note should be placed on the Final Plat stating that the lot is limited to one curb cut to Cottage Hill Road, with the size, location and design to be approved by Mobile County Engineering and conform to AASHTO standards.

The proposed lots meet the minimum size requirements of the Subdivision Regulations. The plat should be revised to label the lot with its size in both square feet and acres, or a table should be furnished on the Final Plat providing the same information.

While the site is in Mobile County, it will have to comply with the City of Mobile storm water and flood control ordinances. A note should be placed on the Final Plat stating that the development will be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. Certification is to be submitted to the Planning Section of Urban Development and County Engineering.

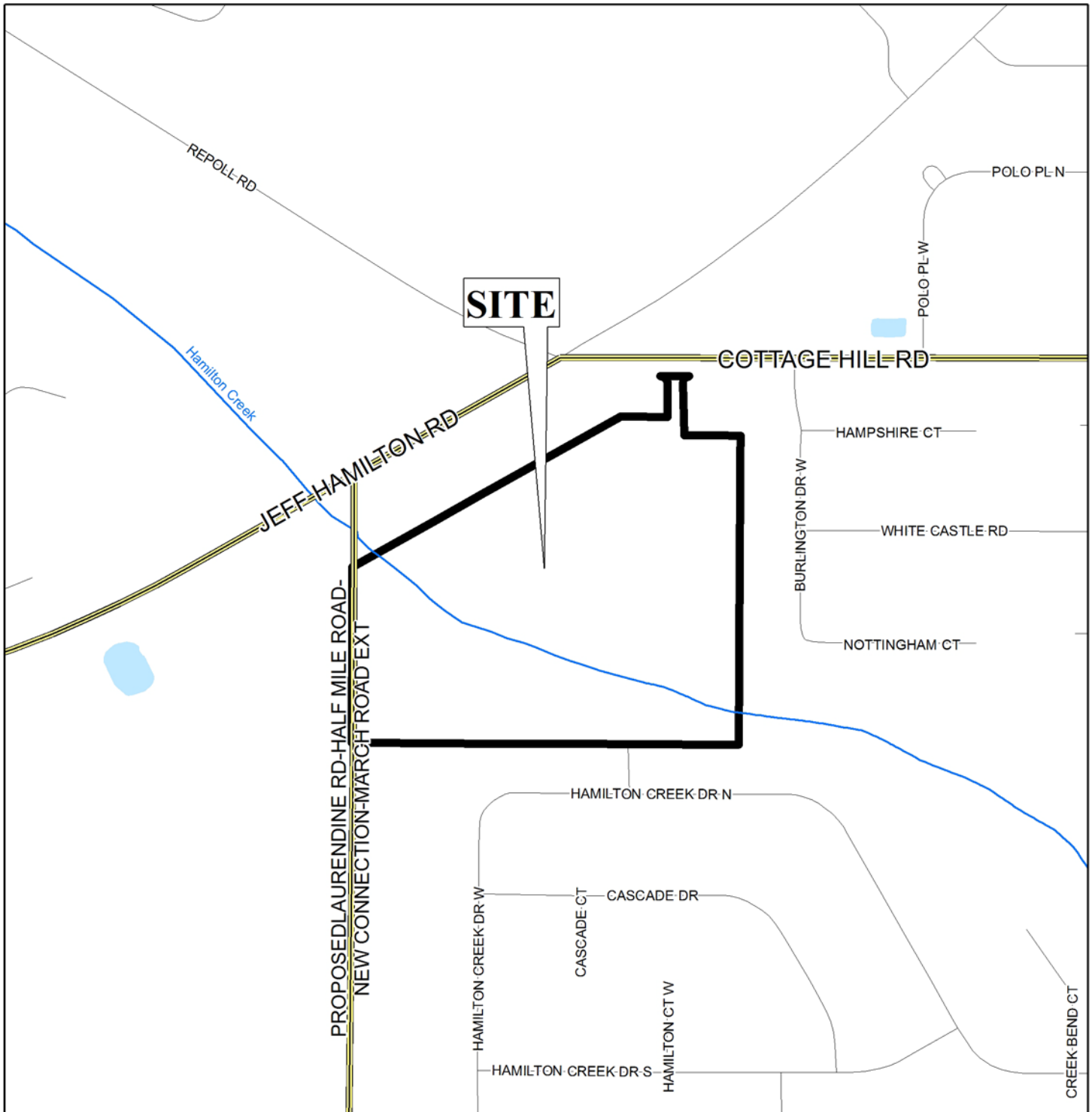
A note should be placed on the Final Plat stating that if the site is developed commercially and adjoins residentially developed property, a buffer must be provided in compliance with Section V.A.8. of the Subdivision Regulations.

The plat meets the minimum requirements of the Subdivision Regulations and is recommended for tentative approval, subject to the following conditions:

- 1) completion of the Vacation process for the public street stub to Cottage Hill Road prior to signing the Final Plat;
- 2) revision of the plat to indicate a 25' minimum building setback block-out as measured from the South terminus of the current street stub;
- 3) revision of the plat to indicate the future right-of-way line of Laurendine Road-Half Mile Road-New Connection-March Road Extension 50' in from the West property line and a minimum building setback line 75' in from the West property line;
- 4) revision of the plat to illustrate a 25' minimum building setback line blocked-out from the North terminus of Scenic Park Drive North;
- 5) revision of the plat to illustrate a 25' minimum building setback line blocked-out as measured from the unopened public right-of-way between Lots 12 and 15, Cottage Hill Park Subdivision, Unit One;

- 6) placement of a note on the Final Plat stating that the lot is limited to one curb cut to Cottage Hill Road via the vacated street stub, with the size location and design to be approved by Mobile County Engineering and conform to AASHTO standards;
- 7) revision of the plat to label the lot with its size in both square feet and acres, or the furnishing of a table on the Final Plat providing the same information;
- 8) placement of a note on the Final Plat stating that the site must comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits. Certification is to be submitted to the Planning Section of Urban Development and County Engineering;
- 9) placement of a note on the Final Plat stating that if the site is developed commercially and adjoins residentially developed property, a buffer must be provided, in compliance with Section V.A.8. of the Subdivision Regulations; and
- 10) compliance with the Fire Department comments: *[Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code. (2012 IFC).]*.

LOCATOR MAP



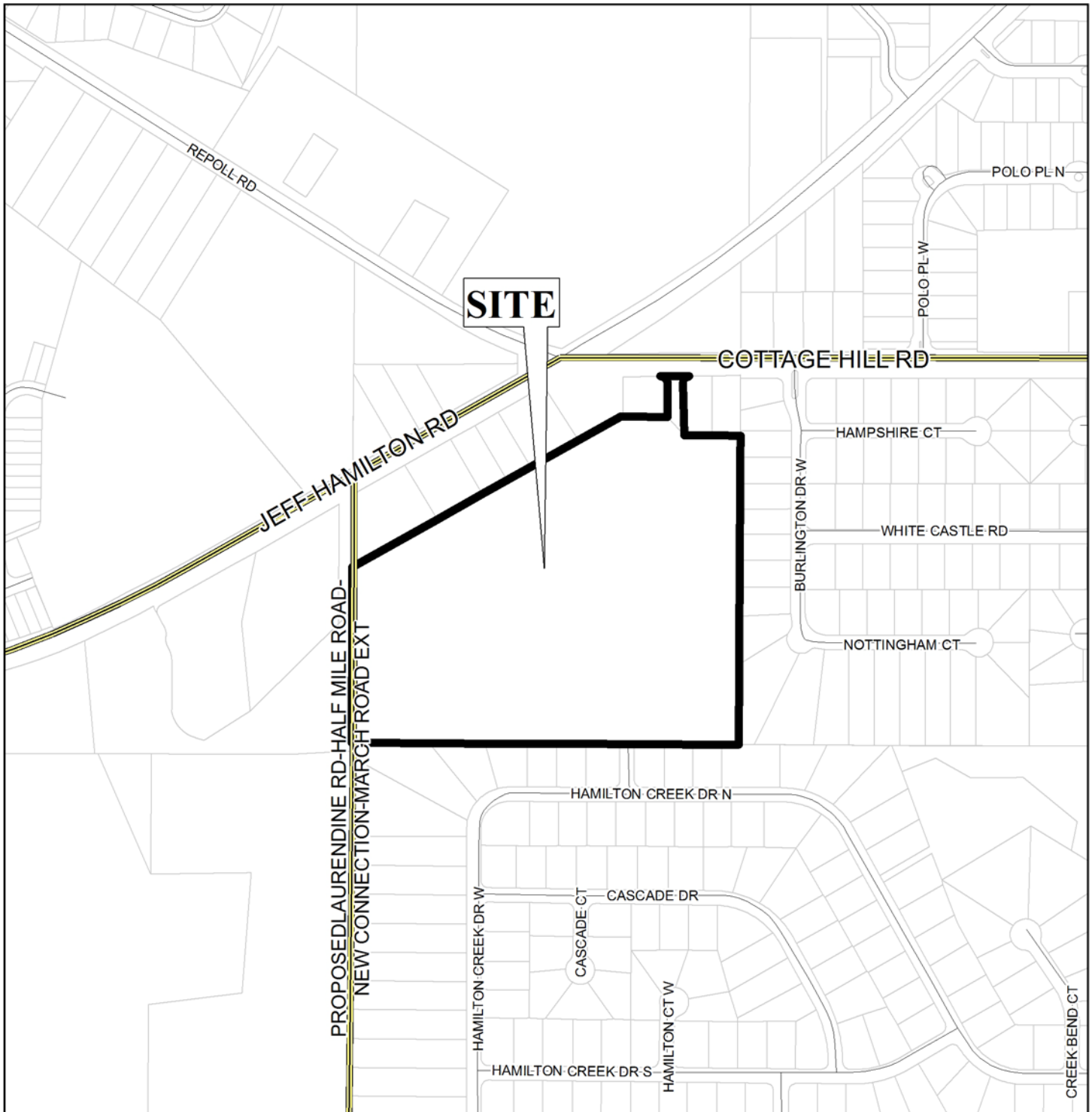
APPLICATION NUMBER 4 DATE September 15, 2016

APPLICANT Ball Subdivision

REQUEST Subdivision



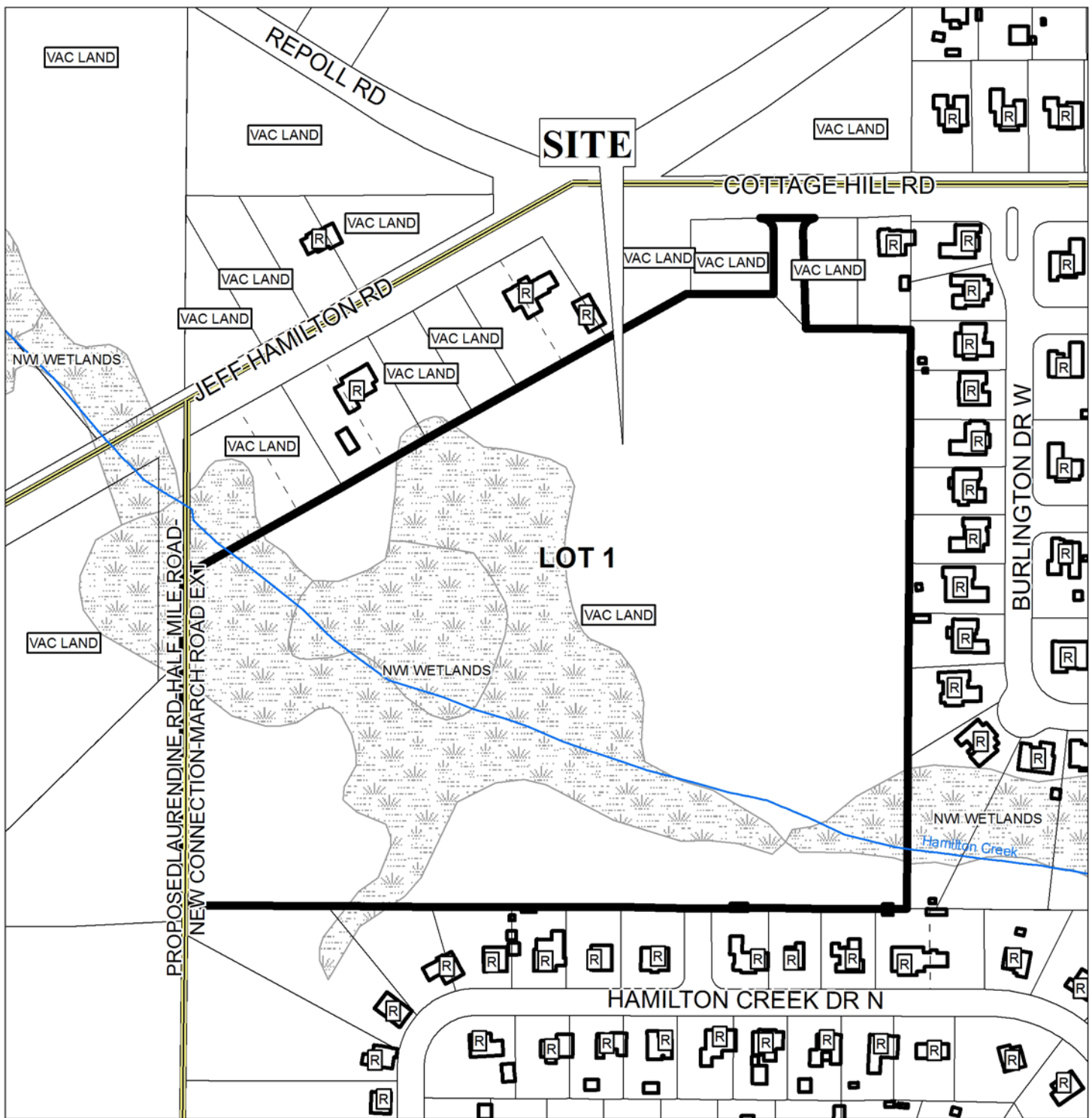
LOCATOR ZONING MAP



APPLICATION NUMBER 4 DATE September 15, 2016
 APPLICANT Ball Subdivision
 REQUEST Subdivision



BALL SUBDIVISION

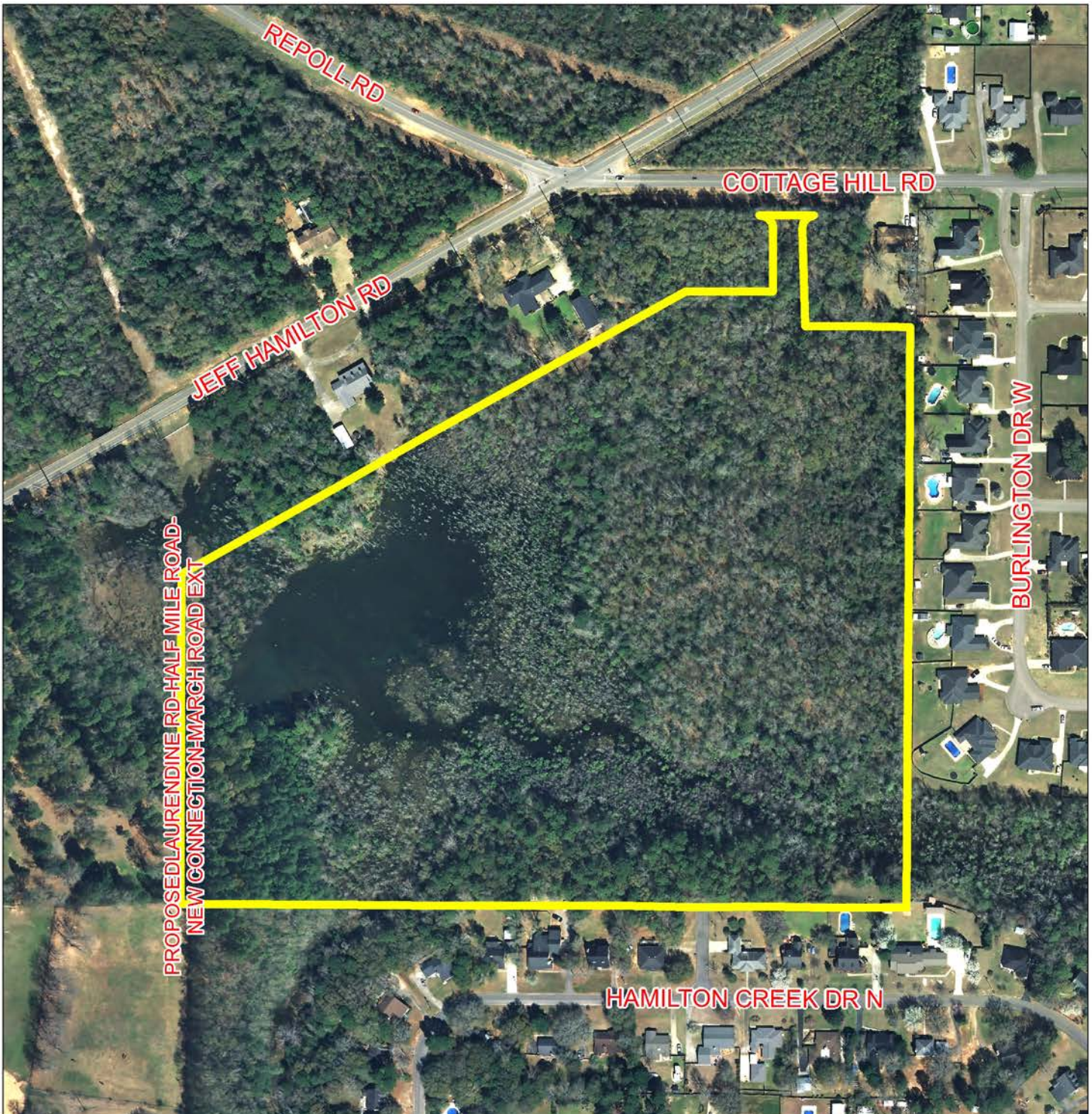


APPLICATION NUMBER 4 DATE September 15, 2016

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



BALL SUBDIVISION



APPLICATION NUMBER 4 DATE September 15, 2016

