

SHADOW CREEK SUBDIVISION

Engineering Comments: The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:

- A. Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors.
- B. The existing detention pond appears to extend outside of the proposed subdivision onto two (2) separate parcels. Provide draft covenants that shows how these offsite areas are going to be able to be maintained by the Shadow Creek subdivision owners?
- C. Show and label the delineated wetlands.
- D. Provide a Location Map.
- E. Show and label all existing and proposed easements.
- F. Revise the plat to label each lot with its size in acres and square feet, or the furnishing of a table on the Plat providing the same information.
- G. Provide a written legal description for the proposed subdivision and matching bearing and distance labels.
- H. Show and label all flood zones.
- I. Show and label the MFFE (Minimum Finished Floor Elevation) on each lot that contains an AE, V, or X (shaded) flood zone designation.
- J. Show and label each and every Right-Of-Way and easement.
- K. Provide and label the monument set or found at each subdivision corner.
- L. Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer.
- M. Provide the Surveyor's Certificate and Signature.
- N. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures.
- O. The subdivision receives drainage from a public street and other private drainage. These drainage easements will be required to be labeled as either PUBLIC (Dedicated to the City of Mobile) or PRIVATE drainage easement; the width and alignment of the easements shall be coordinated with, and approved by, the City Engineer.
- P. Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
- Q. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit.
- R. Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved.
- S. Provide a copy of the FINAL PLAT to the Engineering Dept. for FINAL PLAT review prior to obtaining any signatures.
- T. After FINAL PLAT review by the Engineering Dept. provide a copy of the Final Plat along with the original and any review copies when submitting for City Engineer signature.

Traffic Engineering Comments: Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).

Fire-Rescue Department Comments: All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code).

MAWSS Comments: MAWSS has water and sewer services available, but a Capacity Assurance application for **additional** sewer service has not been applied for. MAWSS cannot guarantee **additional** sewer service until a Capacity application is approved by Volker Engineering, Inc.

The plat illustrates the proposed 15-lot, 20.7± acres subdivision, which is located along the East side of Sollie Road, at the West terminus of Charleston Point Court, extending to the South terminus of Churchbell Drive. The applicant states that the subdivision is served by public water and sanitary sewer.

The purpose of this application is to reduce the recorded front minimum building setback from 50' to 35' as well as create a new drainage easement.

The site was originally the subject of Planned Unit Development approval at the October 20, 1994 meeting of the Planning Commission to facilitate the construction of a private street. Such a request was made in response to a preliminary condition of approval of a Subdivision application for the site which required a street stub to connect the proposed Shadow Creek Drive to Churchbell Court. The subdivision application was subsequently withdrawn; however, at its May 2, 1996 meeting, the Planning Commission approved a similar Subdivision. As a condition of approval of the Subdivision, the site was rezoned from an R-2, Two-Family Residence District to an R-1, Single-Family Residence District at the June 17, 1999 meeting of the City Council to accommodate the proposed single-family residential development. Most recently, two additional lots were subdivided from an area of the original Subdivision reserved for future development, and were approved at the June 19, 2008 meeting of the Planning Commission. It should be noted that on May 14, 1997, the City Council approved Shadow Creek Drive to be a public street maintained by the City of Mobile.

The site has frontage on Sollie Road, a major street with a sufficient 50' distance from the street centerline illustrated on the plat. The right-of-way width of Sollie Road is labelled as 80', but it appears to have been 100' since 2001. The preliminary plat incorrectly labels Sollie Road as Cody Road. If approved, the Final Plat should correctly identify Sollie Road and its 100' right-of-way. Shadow Creek Drive is a minor street with curb and gutter, and has a variable right-of-way, but no dedication is required as the road meets minimum required distance for both one-way and two-way traffic.

As a means of access management, and per previous Subdivision approval, a note should be required on the Final Plat stating that Lots 1 and 15 are denied access to Sollie Road. The note should also mention that all lots are limited to one curb cut to Shadow Creek Drive, with any changes in their sizes, locations, or designs to be approved by Traffic Engineering and conform to AASHTO standards.

Four common areas are illustrated and labeled on the plat, and should be retained on the Final Plat if approved, along with a note stating that the maintenance of all common areas is the responsibility of the property owners.

The applicant mentions a desired 35' minimum building setback requirement for each of the proposed lots; however, the required minimum building setback line is 25' per Section V.D.9. of the Subdivision Regulations. If the applicant chooses to require a 35' minimum building setback line for each of the proposed lots, then this information should be illustrated on the Final Plat, if approved.

It should be noted that Lot 8 exceeds the maximum width-to-depth ratio established by Section V.D.3. of the Subdivision Regulations; however, previous approval of the lot would suggest that a waiver of this section may be appropriate. Nevertheless, each lot meets the minimum size requirements of the Subdivision Regulations; however, none are appropriately labeled on the preliminary plat. If approved, lot size information should be illustrated on the Final Plat in square feet and acres, or a table should be furnished on the Final Plat providing the same information.

A 15' drainage easement is illustrated along the North property lines of Lots 1-3; a 20' drainage easement is illustrated along the North Property lines of Lots 4-8; and a sanitary sewer easement is illustrated between Lots 8 and 9. A note should be required on the Final Plat stating that no structures shall be erected in any easements, if approved.

A portion of the site is illustrated as wetlands and, as such, may be considered environmentally sensitive; thus, approvals from the appropriate local, state and federal agencies may be required prior to the issuance of any development permits.

Furthermore, it appears as if the preliminary plat was not prepared by a licensed professional land surveyor or engineer. It should be noted that the Final Plat should be prepared by either a licensed professional land surveyor or engineer.

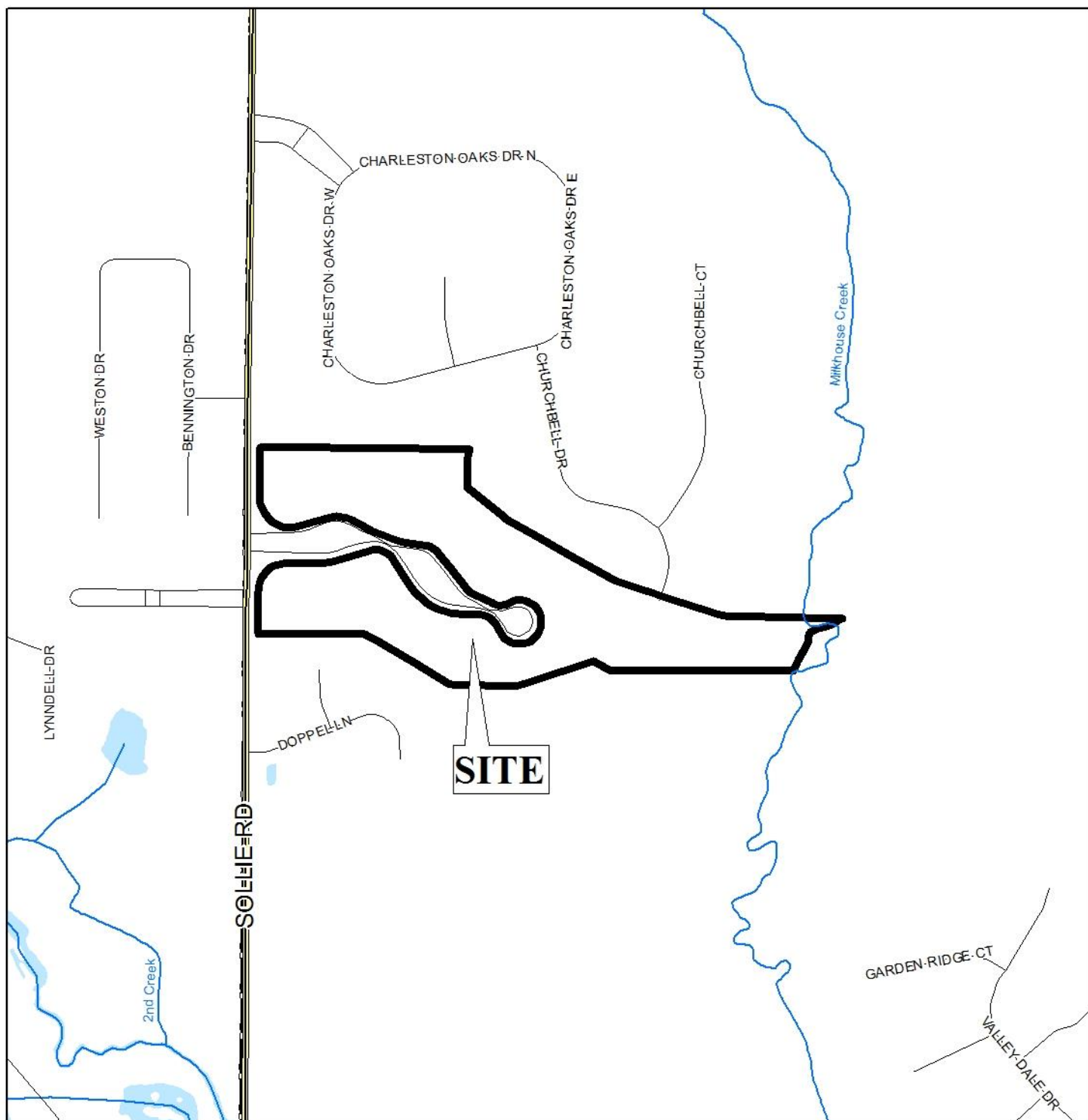
With a waiver of Section V.D.3., the proposed plat meets the minimum requirements of the Subdivision Regulations and is recommended for tentative approval subject to the following conditions:

- 1) final Plat to be completed by either a licensed professional land surveyor or engineer;
- 2) placement of a note on the Final Plat stating that Lots 1 and 15 are denied access to Sollie Road, and that all lots are limited to one curb cut to Shadow Creek Drive, with any changes in their sizes, locations, or designs to be approved by Traffic Engineering and conform to AASHTO standards;
- 3) retention of all illustrated common areas;
- 4) placement of a note on the Final Plat stating that maintenance of all common areas shall be the responsibility of the property owners;

- 5) illustration of at least a minimum 25' building setback line for each lot on the Final Plat;
- 6) illustration of the lot sizes, for each lot, in square feet and acres on the Final Plat, or furnishing of a table providing the same information on the Final Plat;
- 7) placement of a note on the Final Plat stating that no structures shall be erected in any easements;
- 8) revision of the Final Plat to correctly label Sollie Road and its right-of-way width;
- 9) compliance with Engineering comments: (*The following comments should be addressed prior to submitting the FINAL PLAT for acceptance and signature by the City Engineer:*
A) Provide all of the required information on the SUBDIVISION PLAT (i.e. signature blocks, signatures, certification statements, written legal description, required notes, legend, scale, bearings and distances) that is required by the current Alabama State Board of Licensure for Professional Engineers and Land Surveyors. B) The existing detention pond appears to extend outside of the proposed subdivision onto two (2) separate parcels. Provide draft covenants that shows how these offsite areas are going to be able to be maintained by the Shadow Creek subdivision owners? C) Show and label the delineated wetlands. D) Provide a Location Map. E) Show and label all existing and proposed easements. F) Revise the plat to label each lot with its size in acres and square feet, or the furnishing of a table on the Plat providing the same information. G) Provide a written legal description for the proposed subdivision and matching bearing and distance labels. H) Show and label all flood zones. I) Show and label the MFFE (Minimum Finished Floor Elevation) on each lot that contains an AE, V, or X (shaded) flood zone designation. J) Show and label each and every Right-Of-Way and easement. K) Provide and label the monument set or found at each subdivision corner. L) Add a signature block for the Owner, Notary Public, Planning Commission, Traffic Engineer, and City Engineer. M) Provide the Surveyor's Certificate and Signature. N) Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. O) The subdivision receives drainage from a public street and other private drainage. These drainage easements will be required to be labeled as either PUBLIC (Dedicated to the City of Mobile) or PRIVATE drainage easement; the width and alignment of the easements shall be coordinated with, and approved by, the City Engineer. P) Add a note to the SUBDIVISION PLAT stating that a Land Disturbance permit will be required for any land disturbing activity in accordance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. Q) Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. R) Add a note that sidewalk is required to be constructed, and/or repaired, along the frontage of each lot, or parcel, at time of new development or construction, unless a sidewalk waiver is approved. S) Provide a copy of the FINAL PLAT to the Engineering Dept. for FINAL PLAT review prior to obtaining any signatures. T) After FINAL PLAT review by the Engineering Dept. provide a copy of the Final Plat along with the original and any review copies when submitting for City Engineer signature.);
- 10) compliance with Traffic Engineering comments: (*Driveway number, size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.*);

- 11) compliance with Urban Forestry comments: *(Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 2015-116 and City Code Chapters 57 and 64).);*
- 12) compliance with Fire Department comments: *(All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code).);* and
- 13) completion of the Subdivision process prior to any requests for new home construction.

LOCATOR MAP



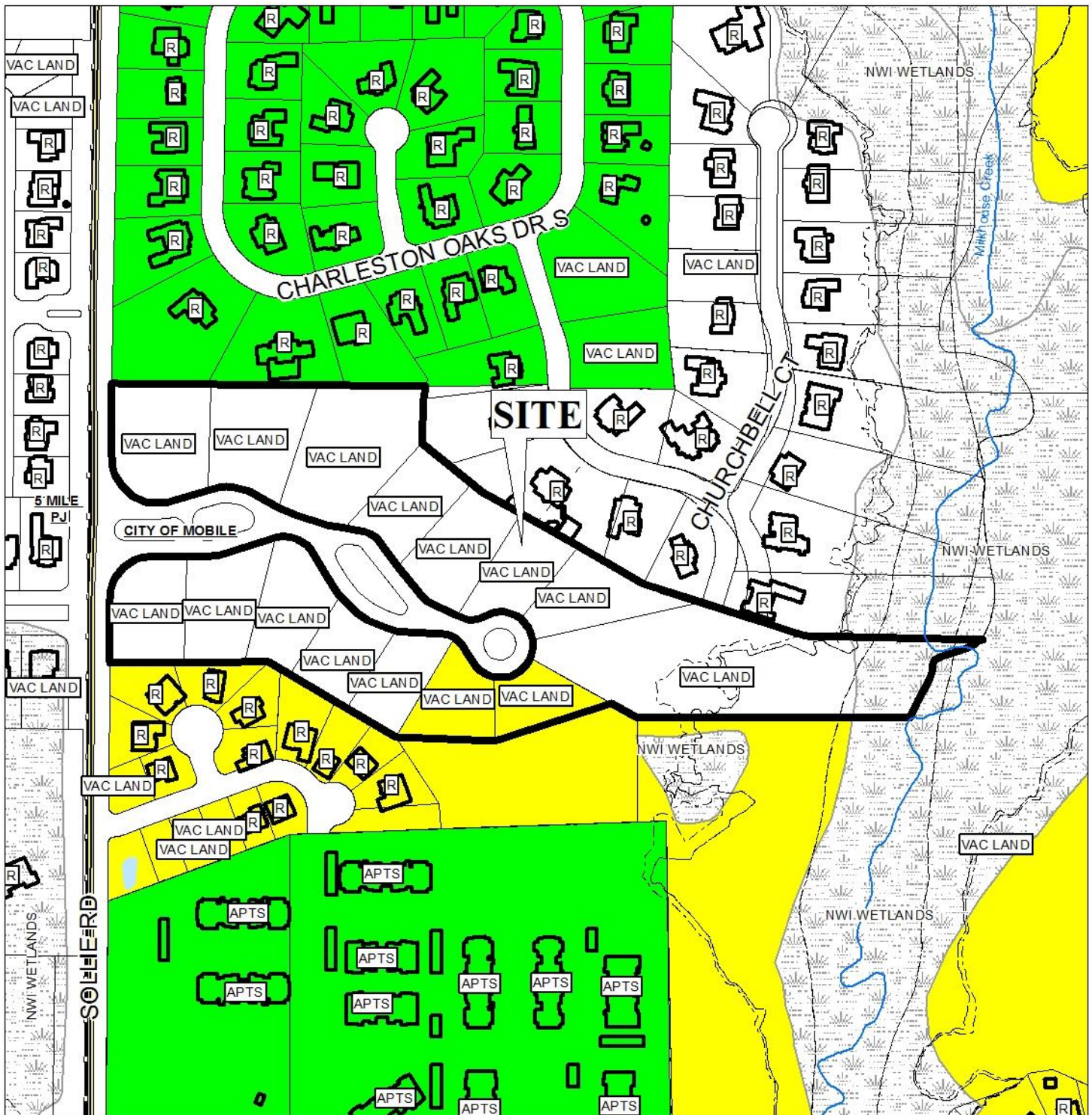
APPLICATION NUMBER 3 DATE June 16, 2016

APPLICANT Shadow Creek Subdivision

REQUEST Subdivision



SHADOW CREEK SUBDIVISION

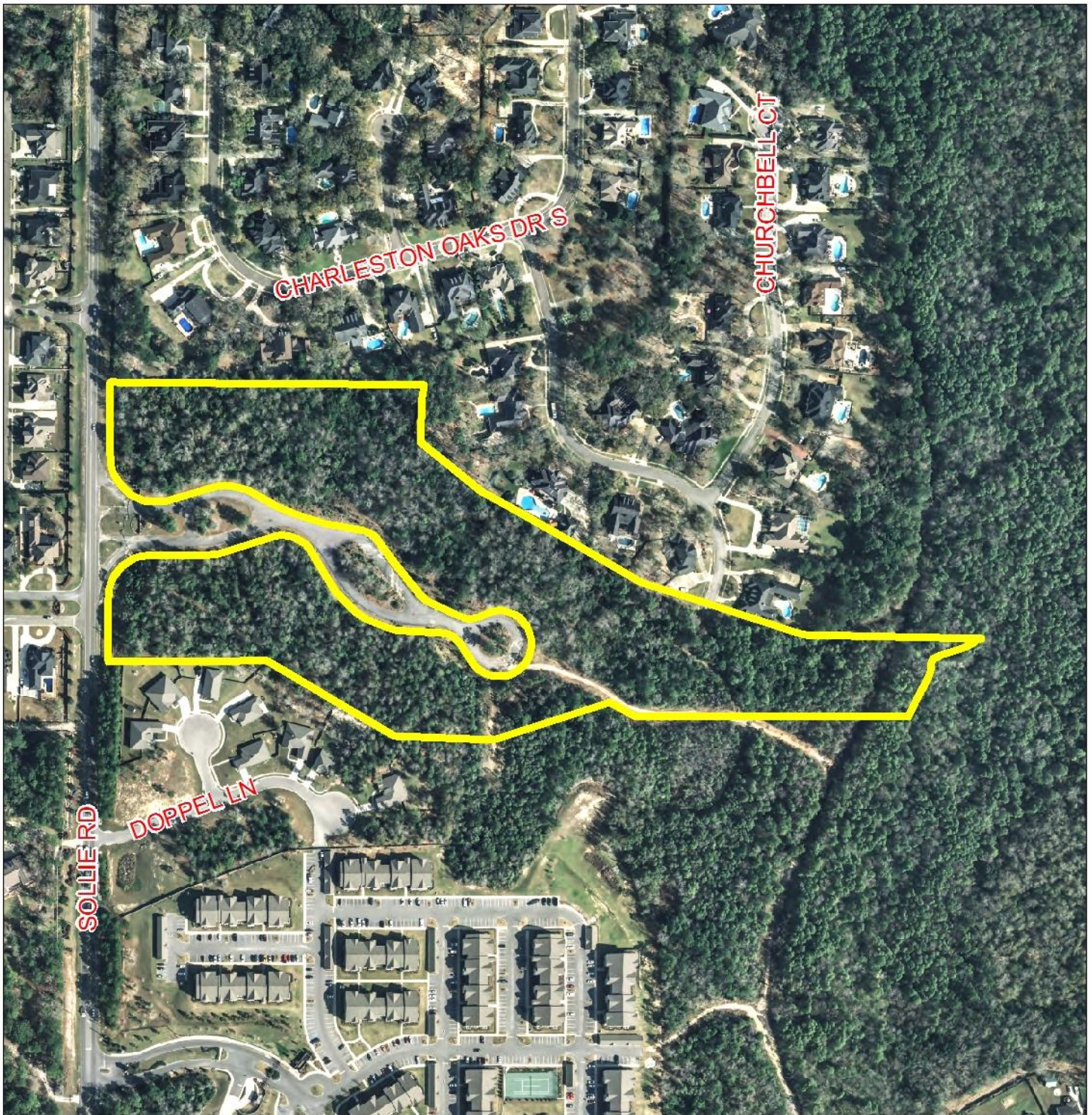


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R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



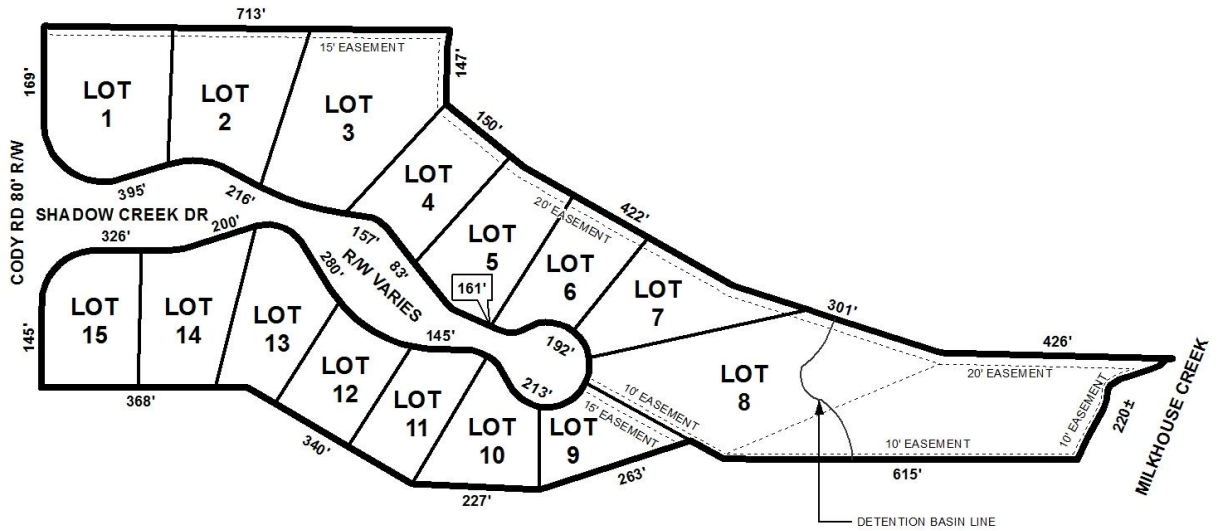
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APPLICATION NUMBER 3 DATE June 16, 2016



DETAIL SITE PLAN



APPLICATION NUMBER 3 DATE June 16, 2016

APPLICANT Shadow Creek Subdivision

REQUEST Subdivision



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