

**ZONING AMENDMENT,  
PLANNED UNIT DEVELOPMENT &  
SUBDIVISION STAFF REPORT**

**Date: April 1, 2004**

**NAME**

Salvation Army (Arthur Smith III, Agent)

**LOCATION**

**Rezoning:** East side of Pine Street, 45'± South of Dauphin Street

**Planned Unit Development/Subdivision:** 1009 Dauphin Street (South side of Dauphin Street, 150'± West of Common Street, extending to the Southeast corner of Dauphin Street and Pine Street, and extending to the North side of Caroline Avenue, 120'± East of Pine Street)

**CITY COUNCIL**

**DISTRICT**

District 2

**PRESENT ZONING**

R-1, Single-Family Residential

**PROPOSED ZONING**

B-2, Neighborhood Business

**AREA OF PROPERTY**

**Rezoning:** .39 Acres

**Planned Unit Development/Subdivision:**  
2.7 acres / 1 lot

**CONTEMPLATED USE**

Creation of one lot, with multiple buildings for use as administrative offices and a substance and alcohol abuse day clinic for an existing emergency shelter facility.

It should be noted, however, that any use permitted in the proposed district would be allowed at this location if the zoning is changed. Furthermore, the Planning Commission may consider zoning classifications other than that sought by the applicant for this property.

**TIME SCHEDULE  
FOR DEVELOPMENT**

None given

**ENGINEERING  
COMMENTS**

Must comply with all stormwater and flood control ordinances. Any work performed in the right of way will require a right of way permit.

**TRAFFIC ENGINEERING****COMMENTS**

All driveway widths and locations to be approved by Traffic Engineering; and design to meet AASHTO Standards. Sign and mark all one-way traffic flows.

**URBAN FORESTRY****COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64). Property to be brought into full compliance of the Landscape and Tree Ordinance for the newly developed area.

**REMARKS**

The applicant has submitted three applications, a rezoning application to expand the existing B-2 district 95 feet southward along Pine Street, a Planned Unit Development application to allow two buildings on one lot, and a Subdivision application to consolidate multiple parcels into one lot.

The site appears as commercial on the General Land Use Component of the Comprehensive Plan, which is meant to serve as a general guide, not a detailed lot and district plan or mandate for development. Moreover, the General Land Use component allows the Planning Commission and City Council to consider individual cases based on additional information such as the classification requested, the surrounding development, the timing of the request, and the appropriateness and compatibility of the proposed use and zoning classification.

The applicant proposes to demolish the existing thrift store building which is located at the southeast corner of Dauphin Street and Pine Street, and in the future to construct a two-story, 10,000 square foot building. The new building would contain administrative offices, as well as an outpatient substance and alcohol abuse clinic, which are allowed by right in B-2 districts.

It should be noted that these applications do not propose any expansion to the existing temporary shelter. However, any approvals placed upon these applications should note that any expansion of the emergency shelter would require Planning Approval. The facility currently provides 118 beds; any increase in the number of beds would require Planning Commission approval.

The existing thrift store is actually spilt zoned; the front 45± feet is zoned B-2, Neighborhood Business, the remainder of the building and parking is zoned R-1, Single-Family Residential. The proposed rezoning would extend the existing B-2 district an additional 95 feet southward along Pine Street; however, in terms of physical development, approval of the rezoning would not extend commercial development any further South than currently exists.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of

adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD.

Planned Unit Development approval is required as the applicant proposes two buildings on one lot. Additionally, the applicant also proposes two, 8 foot by 40 foot, dry storage containers for surplus commodities that are used for feeding programs. These containers are located to the South, behind the existing office and dormitory building. These containers should be used for dry storage only, as compressors and/or generators associated with refrigeration could cause excessive noise. Additionally, these containers should receive Architectural Review Board approval.

Some of the existing access and parking is not well defined; however, with the provision of directional signage, the proposed parking and access will comply with Zoning Ordinance requirements. Also proposed is an additional parking area along the West side of the office and dormitory building; compliance with the landscaping and tree planting requirements of the Ordinance should be required for the newly developed areas beginning at the West façade of the office/dormitory building, and extending westward. Furthermore, the provision of a minimum six-foot high fence or wall around the developed area of the property would be required.

It should be noted that the site is located in the Old Dauphinway historic district thus the approval of the Architectural Review Board is required for any demolition(s) or improvements.

The purpose of the Subdivision application is to consolidate multiple parcels into one lot. The site fronts Dauphin Street, which is a planned major street and as such requires a 100-foot wide right-of-way. However, along this portion of Dauphin Street, in many instances the dedication of additional right-of-way would require the removal of entire structures and large, significant trees, thus dedication should not be required. The proposed plan calls for only two curb cuts for the site, one to Dauphin Street and one to Pine Street (which is existing); and a note should be placed on the final plat stating that the size, location and design of all curb cuts shall be approved by Traffic Engineering.

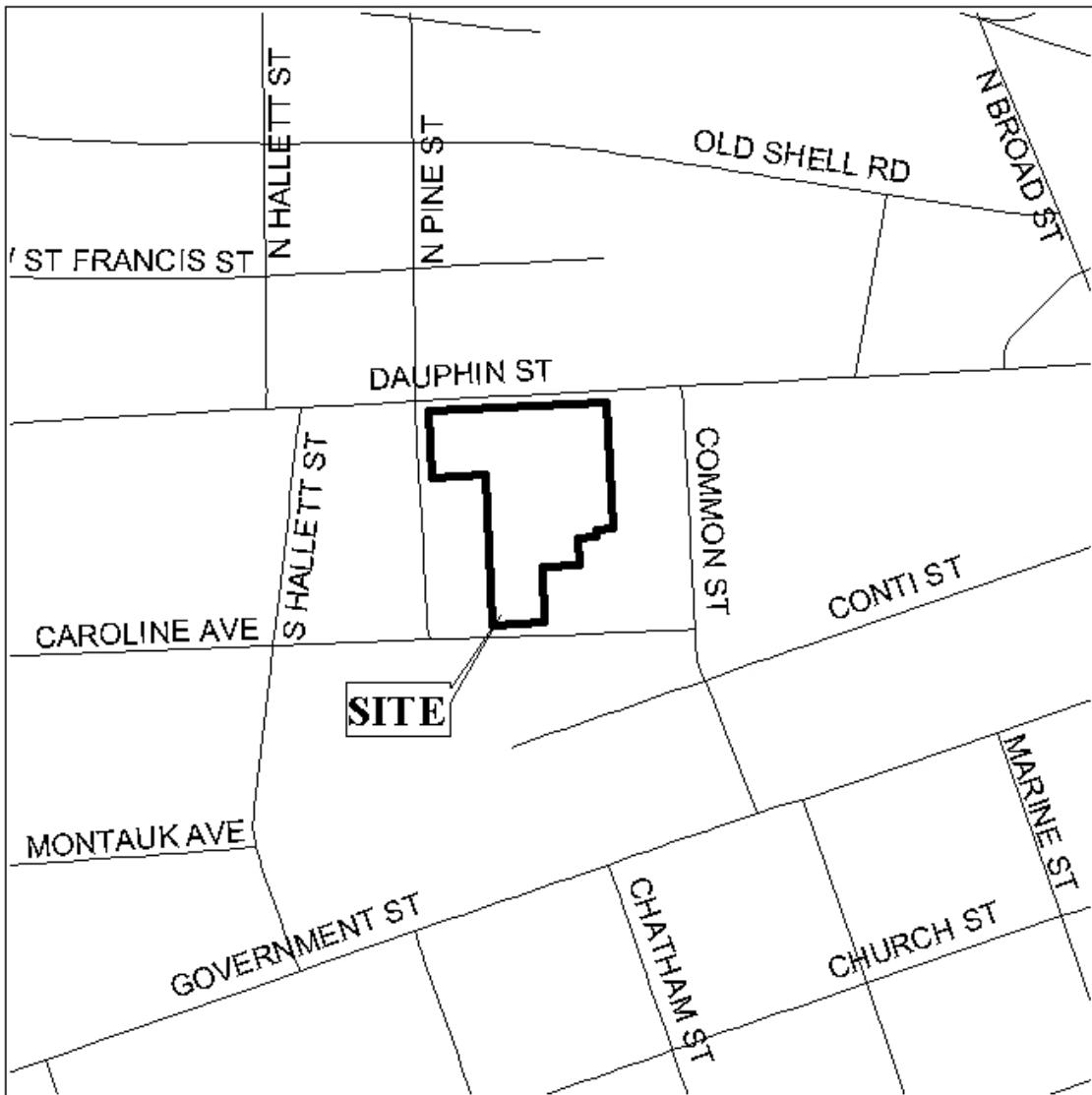
**RECOMMENDATION**      **Rezoning:** Based upon the preceding, this application is recommended for approval subject to the following conditions: 1) limited to an approved PUD; 2) the obtaining of Planning Approval for any additional beds (119 or more); 3) the approval of Traffic Engineering for any directional signage that is needed to provide proper circulation; 4) full compliance with the landscaping and tree planting requirements of the Ordinance for the new development beginning at the West façade of the existing office/dormitory building and extending westward; 5) provision of a minimum six-foot high fence or wall around the developed portion of the property; 6) approval of the Architectural Review Board for any demolition(s) or improvements; 7) that any unused curb cuts be closed, back-filled and grassed; 8) approval of Traffic Engineering for the size, location and design of the two curb cuts; and 9) full compliance with all municipal codes and ordinances.

**Planned Unit Development:** Based upon the preceding, this application is recommended for approval subject to the following conditions: 1) completion of the rezoning process; 2) the obtaining of Planning Approval for any additional beds (119 or more); 3) that no refrigeration be

provided to the dry storage containers and that Architectural Review Board approval be obtained; 4) the approval of Traffic Engineering for any directional signage that is needed to provide proper circulation; 5) full compliance with the landscaping and tree planting requirements of the Ordinance for the new development beginning at the West facade of the existing office/dormitory building and extending westward; 6) provision of a minimum six-foot fence or wall around the developed portion of the property; 7) approval of the Architectural Review Board for any demolition(s) or improvements; 8) that any unused curb cuts be closed, back-filled and grassed; 9) approval of Traffic Engineering for the size, location and design of the two curb cuts; and 10) full compliance with all municipal codes and ordinances.

**Subdivision:** The plat meets the minimum requirements of the Subdivision Regulations and is recommended for Tentative Approval subject to the following condition: 1) placement of a note on the final plat stating the size, location and design of all curb cuts shall be approved by Traffic Engineering.

## LOCATOR MAP



APPLICATION NUMBER 3 & 4 & 5 DATE April 1, 2004

APPLICANT The Salvation Army (Arthur Smith III, Agent)

REQUEST Rezoning, PUD, Subdivision

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**PLANNING COMMISSION  
VICINITY MAP - EXISTING ZONING**



The site is surrounded by single family residential dwellings with miscellaneous offices and apartments located to the North.

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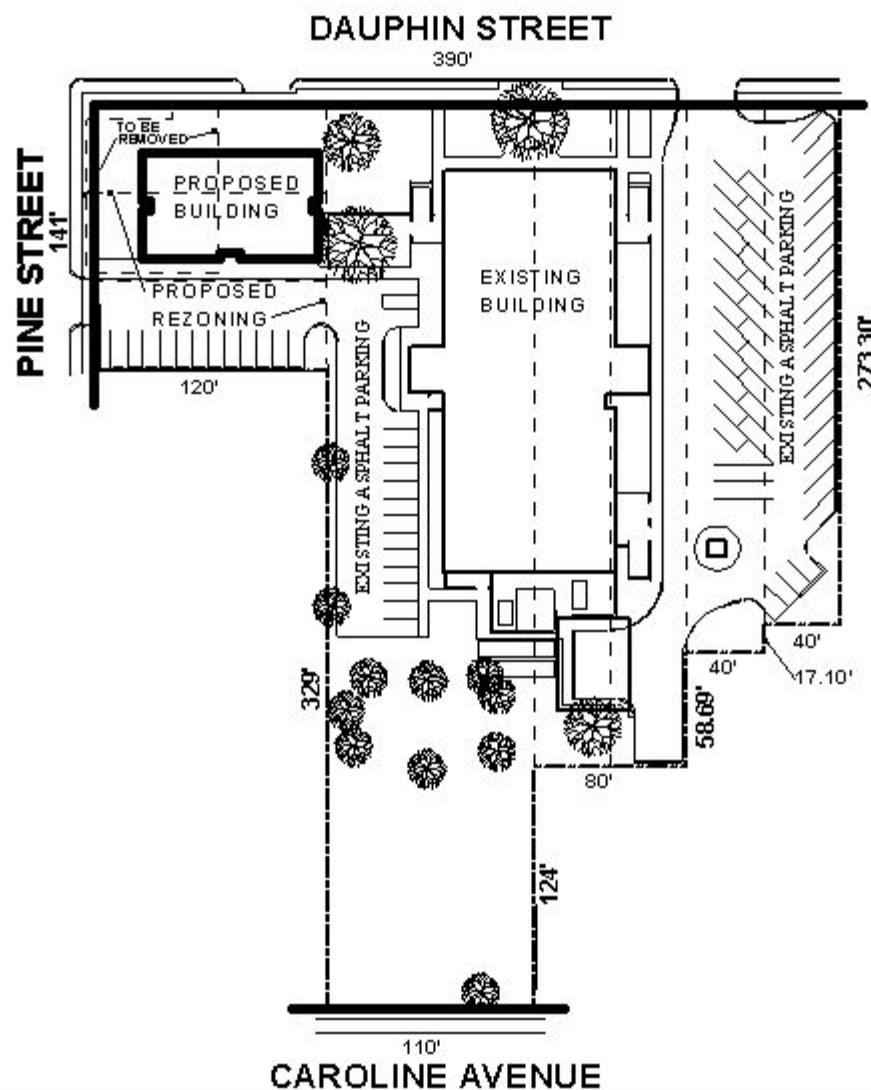
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REQUEST Rezoning, Pud, Subdivision

LEGEND



## SITE PLAN



The site is located on the South side of Dauphin Street, 150' West of Common Street, extending to the Southeast corner of Dauphin Street and Pine Street, and extending to the North side of Caroline Avenue, 120' East of Pine Street. The plan illustrates the existing structures, along with the proposed structure and rezoning.

APPLICATION NUMBER 3 & 4 & 5 DATE April 1, 2004

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USE/REQUEST Rezoning, PUD, Subdivision

