

## **REGENCY MOTORS SUBDIVISION**

Engineering Comments: The following comments should be addressed prior to acceptance and signature by the City Engineer: a. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. b. Add a note that sidewalk is required to be constructed along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved.

Traffic Engineering Comments: Lot 1 is limited to one curb-cut with, size, location and design to be approved by Traffic Engineering, and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

MAWSS Comments: No Comments

The plat illustrates the proposed 3.0± acre, 1-lot subdivision which is located on the West side of Schillinger Road North, 3/10± mile South of Zeigler Boulevard, and is in Council District 7. The applicant states that the subdivision is served by both public water and sanitary sewer.

The purpose of this application is to create a single legal lot of record from three legal lots of record. The site was part of the Schil-Comm Park Subdivision approved at the Planning Commission's October 17, 2002 meeting. The lot size is labeled in square feet and acres, and exceeds the minimum size requirements of Section V.D.2. of the Subdivision Regulations. The lot size should be retained in square feet and acres on the Final Plat, if approved.

The site fronts Schillinger Road, a major street, which has an existing right-of-way in compliance with the Major Street Plan, thus no dedication is required.

The previously approved, 6-lot Subdivision limited the development to a total of three (3) curb cuts. Due to this previous restriction, it should be noted that the proposed lot (formerly Lots 3, 4, and 5 of Schil-Comm Park Subdivision) will be allowed one curb cut, Lot 6 of the Schil-Comm Park Subdivision will be allowed one curb cut, and Lots 1 and 2 of the Schil-Comm Park Subdivision will be required to share a single curb cut. Prior to the signing of the Final Plat, the current owner of Lots 1 and 2 of Schil-Comm Park Subdivision should acknowledge in writing these curb cut limitations. The size, location and design of all curb cuts is to be approved by Traffic Engineering and conform to AASHTO standards.

The preliminary plat illustrates the 25' minimum building setback line required in Section V.D.9. If approved, the minimum building setback line should be retained on the Final Plat as well. .

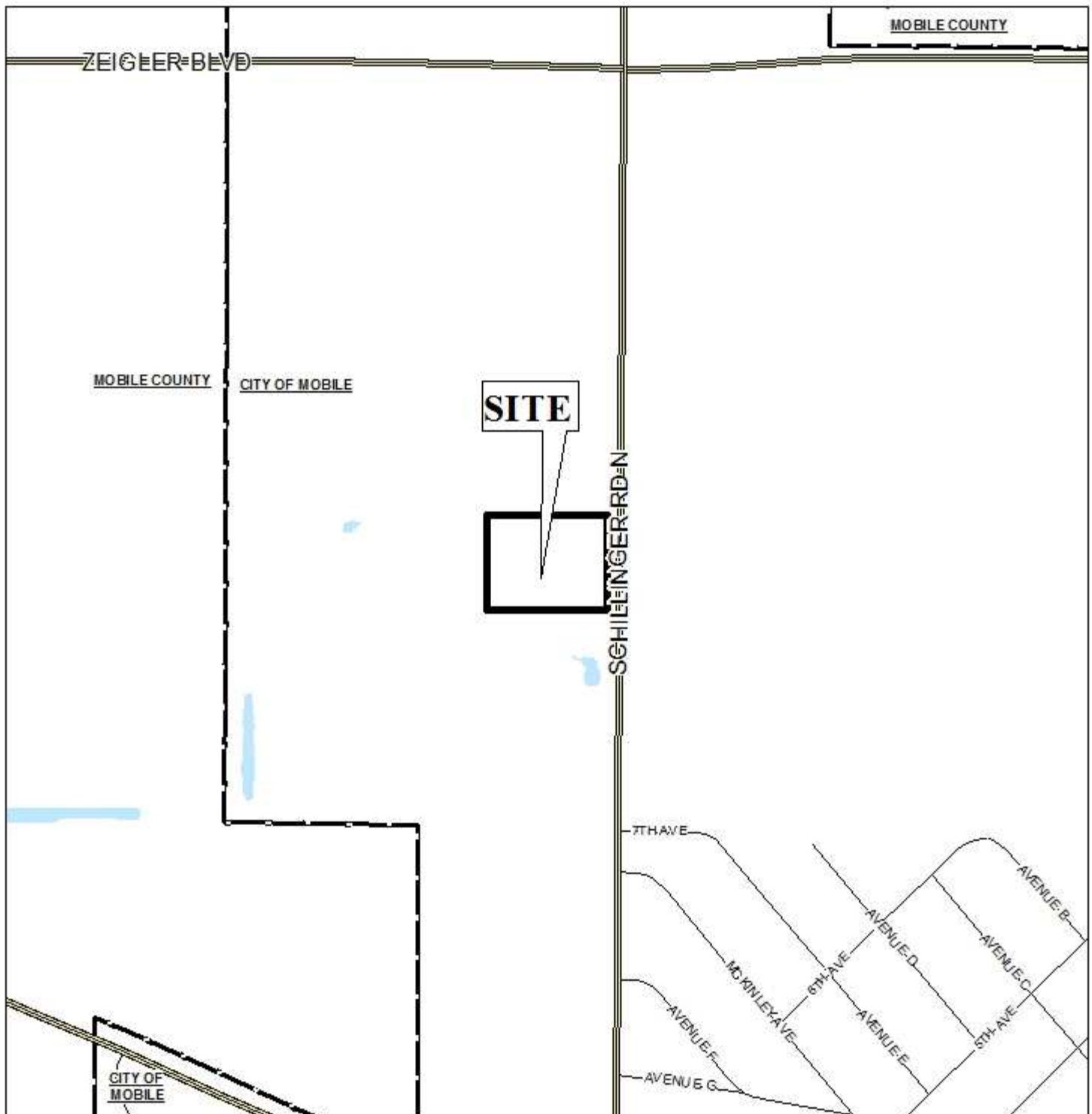
According to the National Wetlands Inventory, the majority of the site is composed of wetlands, and thus may be environmentally sensitive. The presence of wetlands indicate that the area may be; therefore, the approval of all applicable Federal, state and local agencies would be required for wetland issues prior to the issuance of any permits or land disturbance activities.

The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

Based upon the preceding, the application is recommended for Tentative Approval, subject to the following:

- 1) retention of the 25' minimum building setback line;
- 2) retention of the lot size in square feet and acres;
- 3) acknowledgement in writing by the current owner of Lots 1 and 2 of Schil-Comm Park Subdivision that those lots are limited to one shared curb cut prior to the signing of the Final Plat;
- 4) compliance with Engineering comments (*The following comments should be addressed prior to acceptance and signature by the City Engineer: a. Provide the Surveyor's, Owner's (notarized), Planning Commission, and Traffic Engineering signatures. b. Add a note that sidewalk is required to be constructed along the frontage of each lot, or parcel, at time of development, unless a sidewalk waiver is approved.*);
- 5) compliance with Fire Department comments (*All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.*);
- 6) compliance with Traffic Engineering comments (*Lot 1 is limited to one curb-cut with, size, location and design to be approved by Traffic Engineering, and conform to AASHTO standards.*);
- 7) compliance with Urban Forestry comments (*Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).*);
- 8) placement of a note on the Final Plat stating that approval of all applicable Federal, state and local agencies is required for wetland issues, if any, prior to the issuance of any permits or land disturbance activities; and
- 9) placement of a note on the Final Plat stating that approval of all applicable Federal, state and local agencies is required for endangered, threatened or otherwise protected species, if any, prior to the issuance of any permits or land disturbance activities.

# LOCATOR MAP



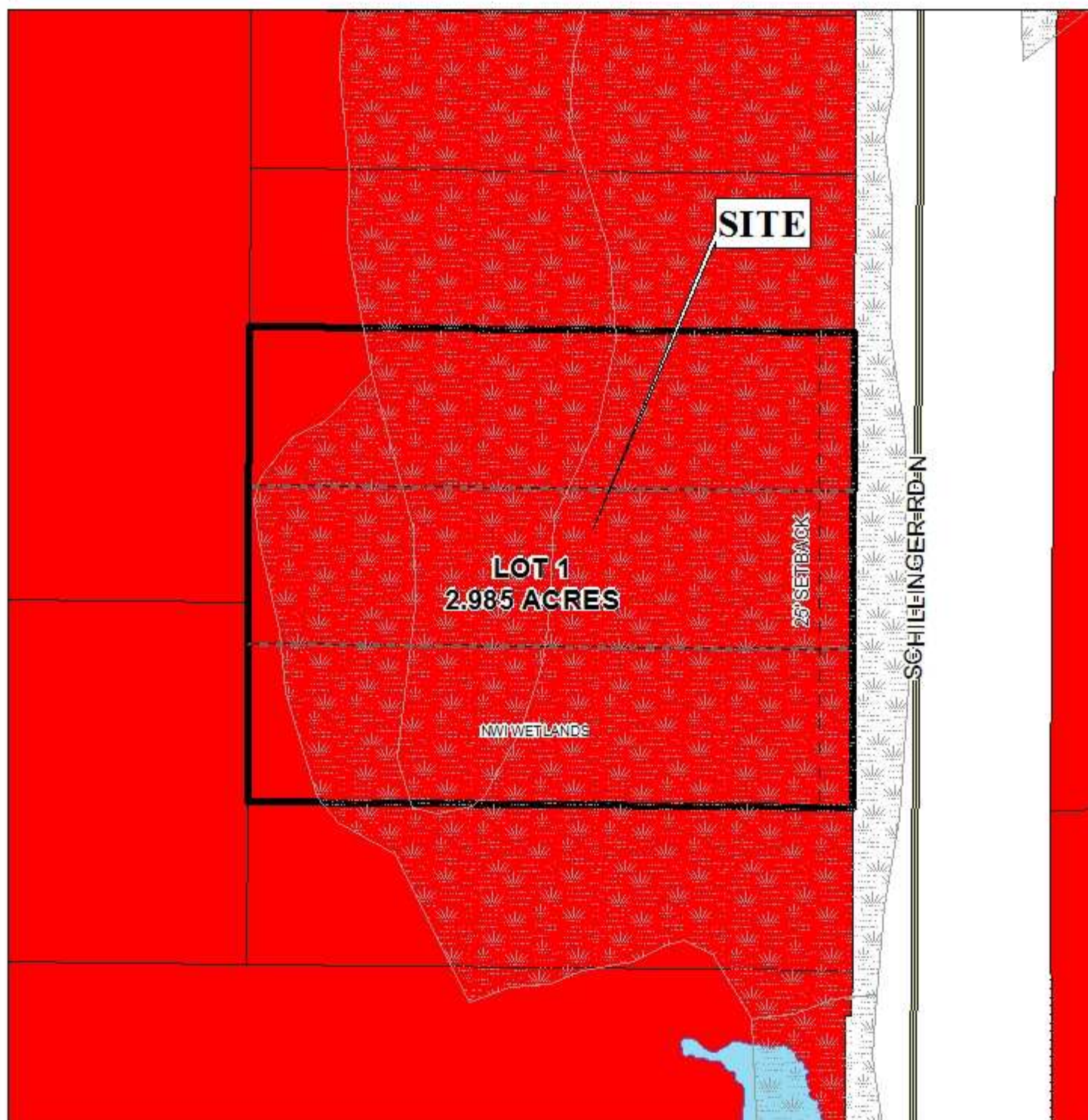
APPLICATION NUMBER 3 DATE December 19, 2013

APPLICANT Regency Motors Subdivision

REQUEST Subdivision


















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LEGEND

														
R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2





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