

## **PETTWAY PLACE SUBDIVISION**

Engineering Comments: Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit. Must provide detention for any impervious area added since 1984 in excess of 4,000 square feet. Need to verify that there is sufficient capacity for the receiving drainage system to accept drainage from this property.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. Final approval for all driveways, proposed and existing will be given upon submittal of final plans.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire-Rescue Department Comments: All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

MAWSS Comments: No comments.

The plat illustrates the proposed 1-lot, 0.2± acre subdivision which is located on the South side of Ridge Road, 206'± East of Stanton Road, in Council District 1. The subdivision is served by public water and sanitary services.

The purpose of this application is to create a legal lot of record from an existing metes-and-bounds parcel.

As submitted, the plat does not agree with the parcel and lot configuration of the City G.I.S. database, or the City Engineering mapping system. The subject site appears to contain a portion of a metes-and-bounds parcel to the West shown on the mapping systems, and also appears to encroach into the adjacent residence and property to the East, as indicated on the mapping systems. Given, there may be mapping system errors, but until resolution of the discrepancies is achieved, an accurate review of this case cannot be done.

Based on the preceding, this application is recommended for holdover until the October 16<sup>th</sup> meeting, with requested information due by October 3<sup>rd</sup>, to allow the applicant to submit the following:

- 1) documentation and/or field survey verification to establish the accuracy of the plat and resolve discrepancies between the plat and mapping systems (including verification of encroachments onto adjacent residence).

**Revised for the October 16<sup>th</sup> Meeting:**

This application was heldover from the September 18<sup>th</sup> meeting to allow the applicant to submit the following:

- 1) documentation and/or field survey verification to establish the accuracy of the plat and resolve discrepancies between the plat and mapping systems (including verification of encroachments onto adjacent residence).

The applicant has submitted verification establishing the accuracy of the plat and indicating that an "L"-shaped metes-and-bounds parcel indicated on the GIS data base and County Tax Parcels in fact does not exist. Platting of tax parcels along the East side of Stanton Road based on recorded deeds indicate a contiguousness South of Ridge Road, and surveying of the subject site and the adjacent site to the East indicate that there is no encroachment of the dwelling to the East upon the subject site.

As previously mentioned, the purpose of this application is to create a legal lot of record from an existing metes-and-bounds parcel. The proposed lot would be less than 60' wide at the building setback line, and a waiver of Section V.D.2 of the Subdivision Regulations would be required. However, narrow lots are typical of this neighborhood. The lot would meet the minimum square footage requirements.

The proposed lot has frontage on Ridge Road with a compliant 50' right-of-way, therefore, no dedication is required. As a means of access management, a note should be required on the final plat limiting the lot to one curb cut to Ridge Road, with the size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards. The plat does not illustrate the 25' minimum building setback line; therefore, the plat should be revised to illustrate the 25' minimum building setback line along Ridge Road.

The lot is not labeled on the plat with its size in square feet. The plat should be revised to label the lot with its size in square feet, or a table should be provided furnishing the same information.

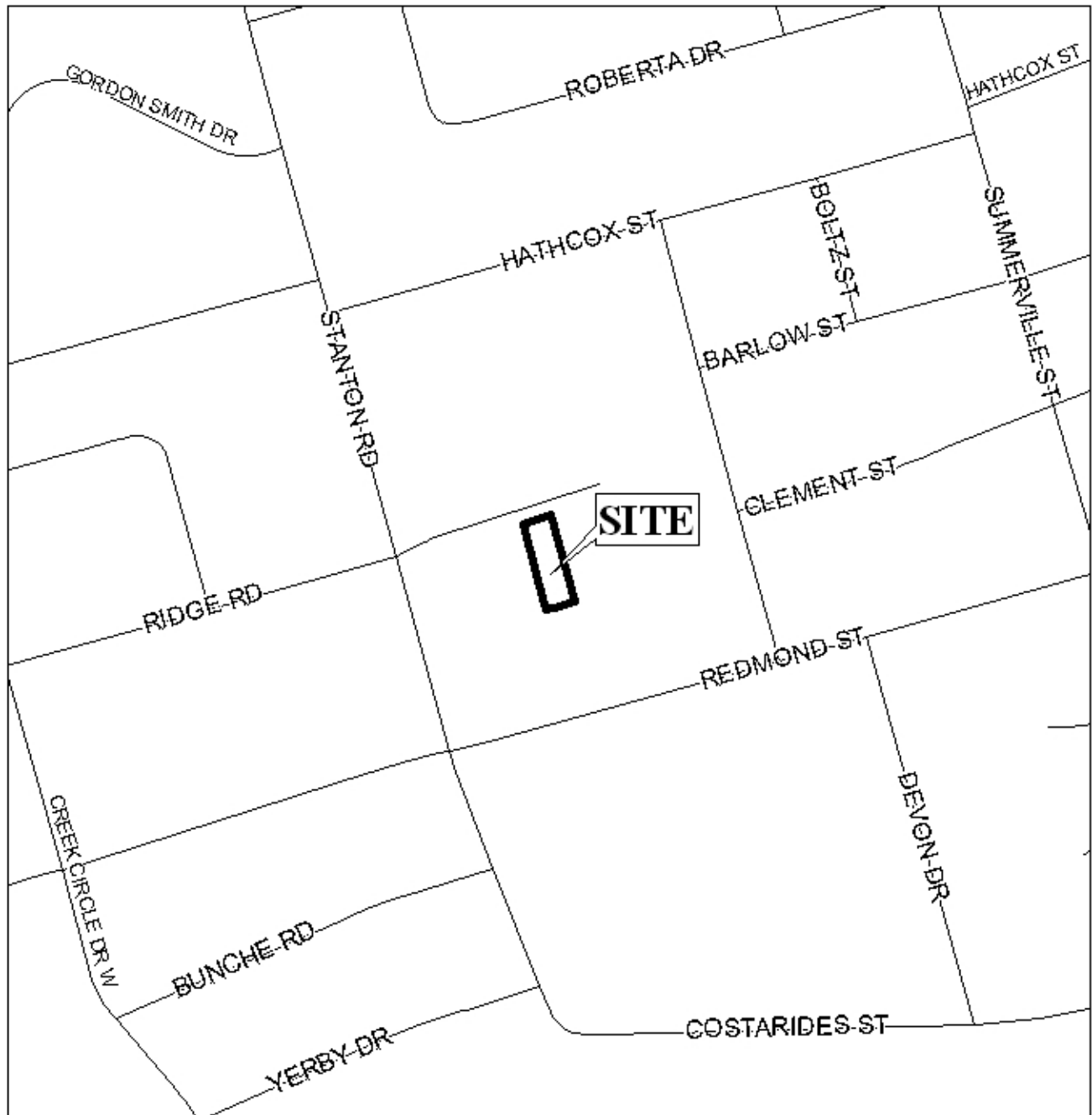
The geographic area defined by the City of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of this site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species.

With a waiver of Section V.D.2., the proposed plat meets the minimum requirements of the Subdivision Regulations and is recommended for tentative approval subject to the following conditions:

- 1) placement of a note on the Final Plat stating that the subdivision is limited to one curb cut to Ridge Road, with the size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards;
- 2) illustration of the 25' minimum building setback line along Ridge Road;

- 3) labeling of the lot with its size in square feet, or the provision of a table on the plat furnishing the same information;
- 4) placement of a note on the Final Plat stating that development of this site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species; and
- 5) subject to the Engineering Comments: *(Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit. Must provide detention for any impervious area added since 1984 in excess of 4,000 square feet. Need to verify that there is sufficient capacity for the receiving drainage system to accept drainage from this property).*

## LOCATOR MAP



APPLICATION NUMBER 3 DATE October 16, 2008

APPLICANT Pettway Place Subdivision

REQUEST Subdivision



# PETTWAY PLACE SUBDIVISION



APPLICATION NUMBER 3 DATE October 16, 2008

LEGEND





## PETTWAY PLACE SUBDIVISION



APPLICATION NUMBER 3 DATE October 16, 2008



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