

**PLANNED UNIT DEVELOPMENT
STAFF REPORT****Date: March 7, 2013****DEVELOPMENT NAME**

Cowles, Murphy, Glover & Associates

LOCATION1926 & 2000 Telegraph Road
(Southeast corner of Telegraph Road and Bay Bridge Road).**CITY COUNCIL
DISTRICT**

District 2

**PRESENT ZONING
PRESENT ZONING**B-2, Neighborhood Business District and
I-1, Light-Industry District**AREA OF PROPERTY**

2 Lots /3.2± Acres

CONTEMPLATED USE

Planned Unit Development Approval to amend a previously approved Planned Unit Development to allow multiple buildings on a single building site, and shared access & parking between two sites.

**TIME SCHEDULE
FOR DEVELOPMENT**

Immediately

**ENGINEERING
COMMENTS**

Add a note to the PUD drawing stating that a Land Disturbance Permit will be required for any future addition(s) and/or land disturbing activity in accordance with the Storm Water Management and Flood Control Ordinance (Mobile City Code, Chapter 17, Ordinance #65-007 & #65-045).

**TRAFFIC ENGINEERING
COMMENTS**

Driveway number, size, location, and design to be approved by Traffic Engineering and ALDOT and conform to AASHTO standards.

**URBAN FORESTRY
COMMENTS**

Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64). Full compliance with Frontage tree requirements of the Zoning Ordinance.

FIRE DEPARTMENT**COMMENTS**

All projects within the City of Mobile Fire Jurisdiction must comply with the requirements of the 2009 International Fire Code, as adopted by the City of Mobile.

REMARKS

The applicant is requesting Planned Unit Development Approval to amend a previously approved Planned Unit Development to allow multiple buildings on a single building site.

The site was the subject of a Subdivision, Rezoning and Planned Unit Development review at the Planning Commission's November 18, 2010 meeting to allow multiple buildings on a single building site as well as shared access and parking between two building sites. The applicant now wishes to build an additional building, and therefore needs to have a new Planned Unit Development approval. The previously approved Planned Unit Development was never acted upon thus has expired. Additionally the applicant has changed the size of the proposed building.

Planned Unit Development review examines the site with regard to its location to ensure that it is generally compatible with neighboring uses; that adequate access is provided without generating excess traffic along minor residential streets in residential districts outside the PUD; and that natural features of the site are taken into consideration. PUD review also examines the design of the development to provide for adequate circulation within the development; to ensure adequate access for emergency vehicles; and to consider and provide for protection from adverse effects of adjacent properties as well as provide protection of adjacent properties from adverse effects from the PUD. PUD approval is site plan specific, thus if any new construction is anticipated that will change an approved site plan, an application to amend an existing, approved PUD must be made prior to any construction activities.

The applicant is proposing to construct an 18,000 square foot machine shop and 2,800 square foot office building as well as a parking lot on the Eastern portion of the building site.

The site plan submitted includes a table illustrating that the site will be developed in full compliance with tree and landscaping requirements, however, not all of the required 20 frontage trees are depicted on the site plan. It should be pointed out that 3 understory trees will be required due to the proposed number of parking spaces.

The site plan does not illustrate the minimum 25' setback line. A revised site plan should be submitted illustrating the 25' minimum setback line.

The site will have a total of 5,500 square feet of office space, and 45 warehouse employees: a total of 34 parking spaces are required. The site plan depicts a total of 49 parking spaces.

The site plan illustrates a 6' chain link fence around the perimeters of the property. Since the site does not abut any residential structures this would be appropriate.

It should be noted that any new site lighting must comply with the requirements of Section 64-6.A.8. Therefore a photometric plan will be required as part of the site development application at time of permitting.

Finally, it appears that the Rezoning request from 2010 application was never carried through the City Council process, thus the property is still split zoned. A new Rezoning application will be required.

RECOMMENDATION **Planned Unit Development:** Based upon the revised PUD site plan, this application is recommended for Holdover until the April 4th meeting with revisions due by March 15, 2013.

- 1) revision of the site plan to depict 20 frontage trees and three (3) parking area trees;
- 2) submission of a rezoning request to eliminate split zoning;

Revised for the April 4, 2013 meeting:

The application was heldover from the March 7, 2013 meeting to allow the applicant time to address several issues.

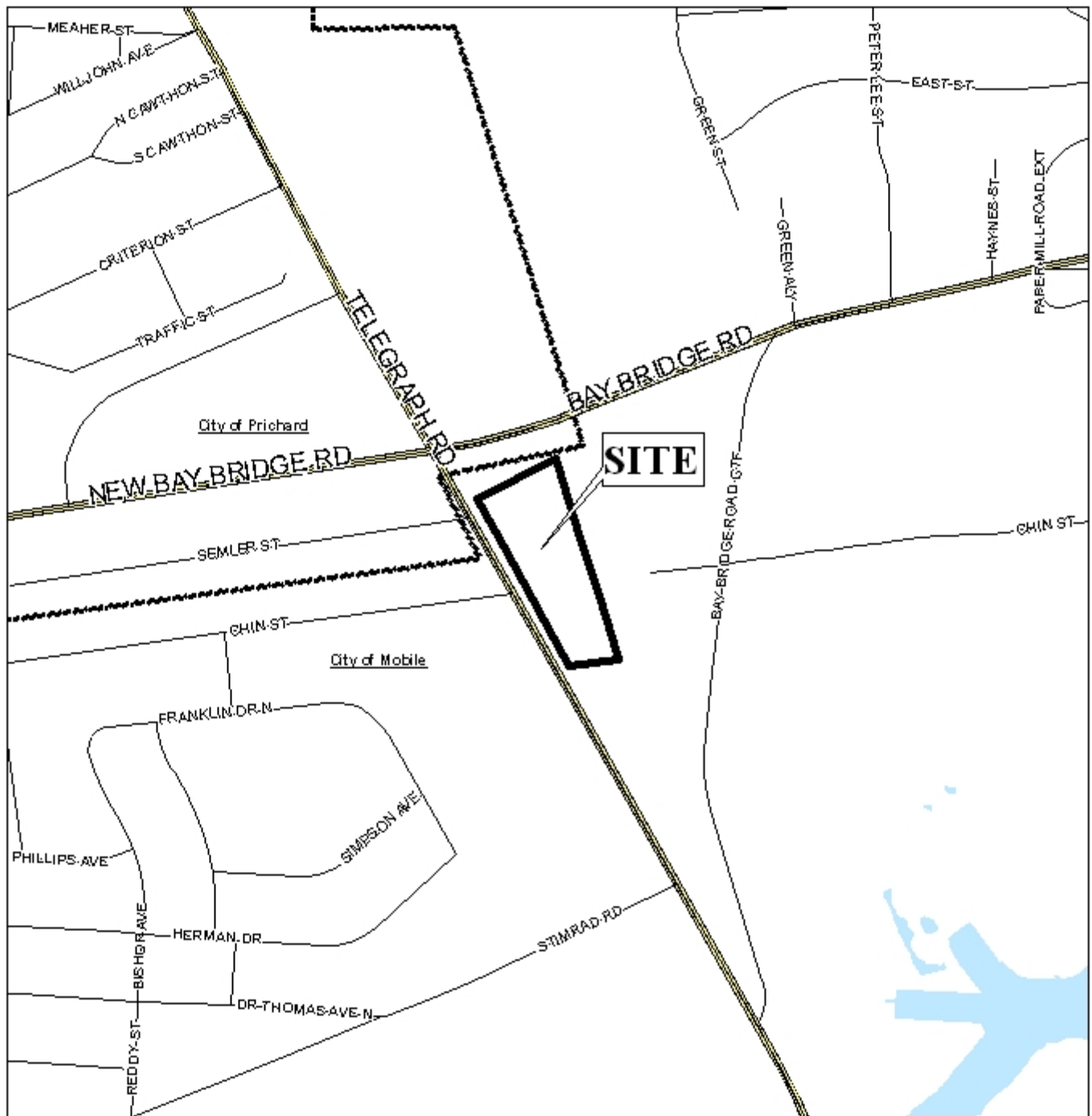
As request, the applicant submitted the rezoning application for the June 6, 2013 meeting. The applicant also submitted a revised site plan to show the 20 frontage trees and 3 parking area trees.

It should be pointed out that the revised site plan does specifies the frontage trees as bald cypress. The Urban Forester has determined that any frontage trees planted within 15-feet of an overhead power line they must be a live oak (Quercus virginiana). The site plan should be revised to depict the overhead power line along Telegraph Road, and, if necessary, the tree species must be changed to live oak, or the trees must be set back to be more than 15-feet from the power line.

RECOMMENDATION **Planned Unit Development:** Based upon the revised site plan, the application is recommended for approval subject to the following conditions:

- 1) *revision of the site plan to depict and label the overhead power line along Telegraph Road, and, if necessary, either move the proposed bald cypress trees to be more than 15-feet from the power line, or change the tree specification to live oak;*
- 2) *submission of two revised site plans; and*
- 3) *completion of the rezoning process prior to the request for permits.*

LOCATOR MAP



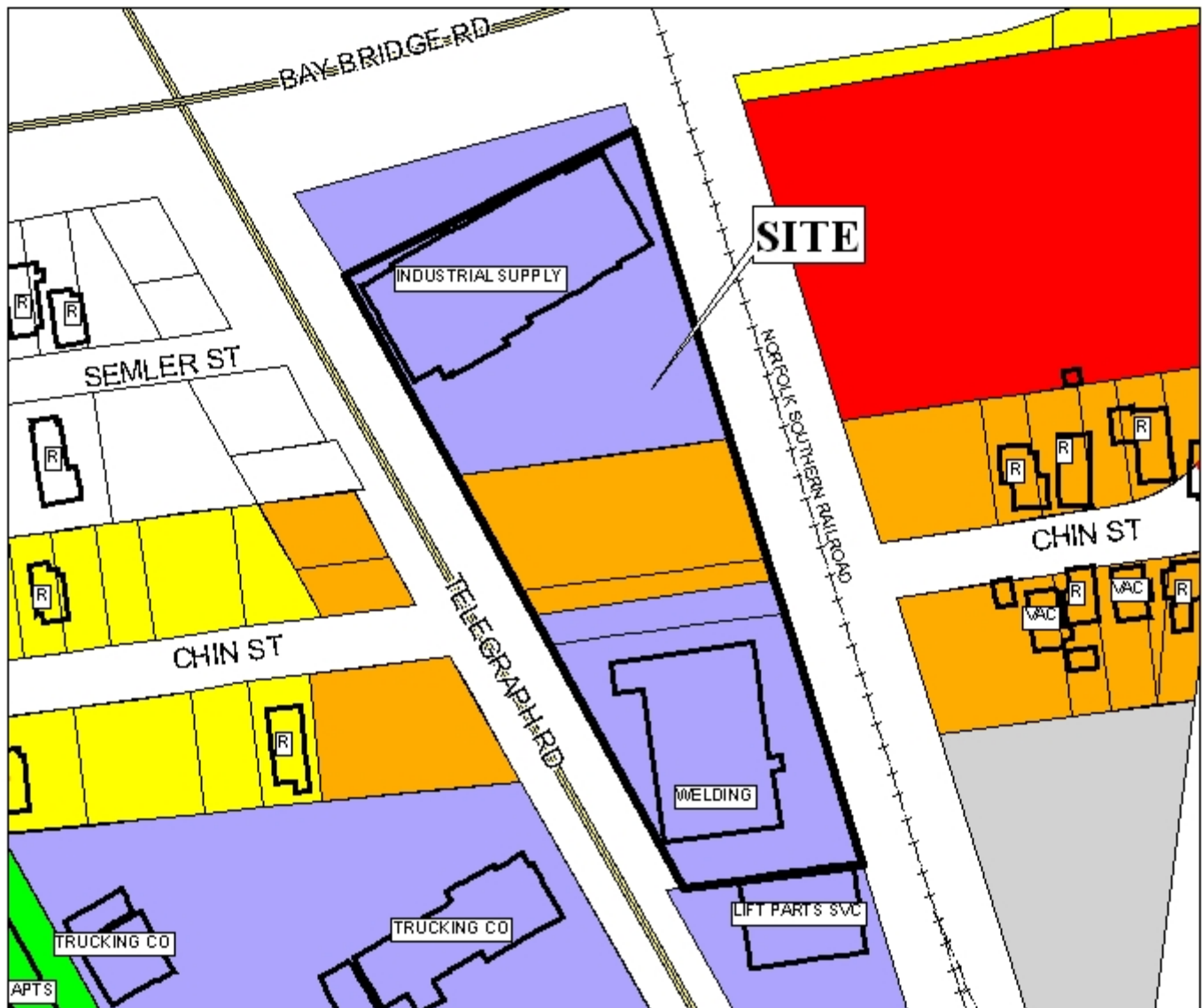
APPLICATION NUMBER 3 DATE April 4, 2013

APPLICANT Cowles, Murphy, Glover, & Associates

REQUEST Planned Unit Development



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING



Industrial land uses are located to the west and south of the site.
Residential land uses are located to the west and east of the site.

APPLICATION NUMBER 3 DATE April 4, 2013

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REQUEST Planned Unit Development

LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2

NTS



PLANNING COMMISSION VICINITY MAP - EXISTING ZONING

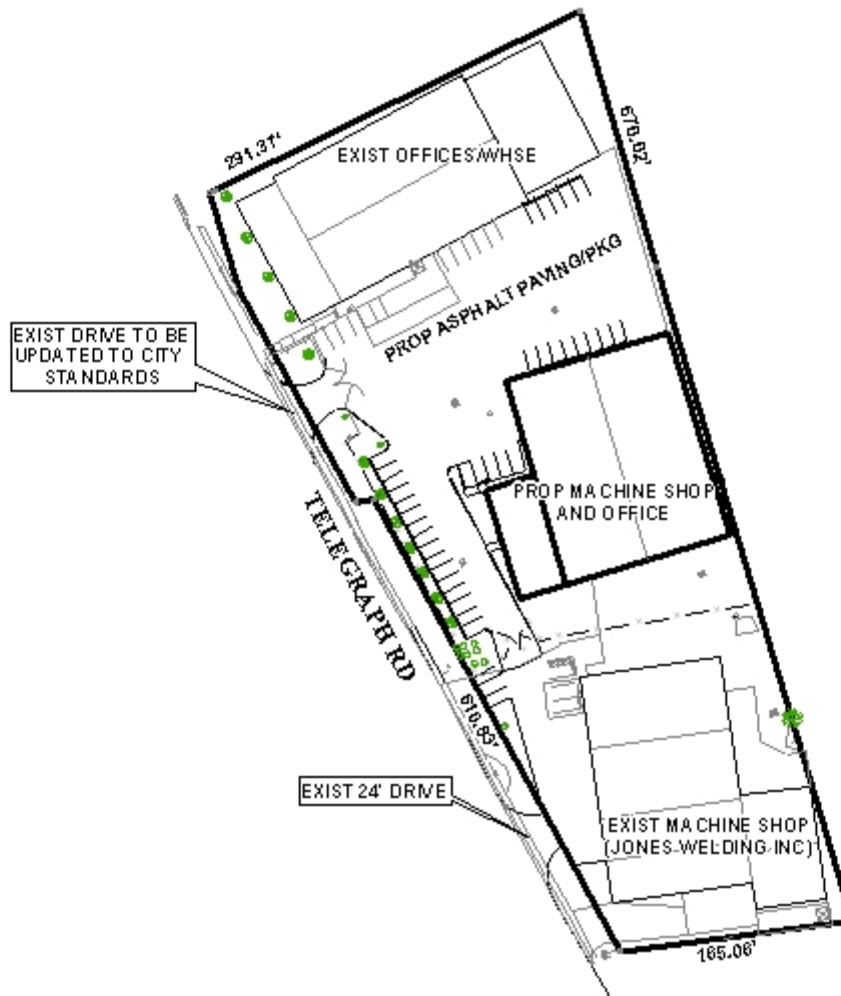


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NTS

SITE PLAN



The site plan illustrates the existing buildings, proposed buildings, and proposed parking.

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 REQUEST Planned Unit Development

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