

## **FIRST BAPTIST CHURCH OF THEODORE SUBDIVISION, RESUBDIVISION OF PARCEL A**

Engineering Comments: Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit. Must provide detention for any impervious area added to the site in excess of 4,000 square feet. Any areas receiving public water will require a drainage easement. The size and location of any required drainage easement will require the approval of the City Engineering Department.

Traffic Engineering Comments: Driveway number, size, location, and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects must comply with the requirements of the 2003 International Fire Code, including Appendices B through D, as adopted by the City of Mobile, and the 2003 International Existing Building Code, as appropriate.

The plat illustrates the proposed 2 lot, 14.8 ± acre subdivision which is located at 7125 Bellingrath Road (the Southeast corner of Bellingrath Road and Old Military Road. This location is within the newly annexed Theodore area. The applicant states that the subdivision is served by public water and sanitary sewer systems.

The purpose of this application is to create two legal lots of record from an existing legal lot of record. It should be noted that the site is already extensively developed. The proposed Lot 1 is developed with a single building and the proposed Lot 2 is developed with a church consisting of multiple buildings.

The site has frontage along Bellingrath Road, a proposed major street as shown on the Major Street Plan Component of the Comprehensive Plan. The Major Street Plan dictates a right-of-way of 100 feet for this proposed major street. A right-of-way of 60 feet is depicted as existing on the plat. As such, dedication sufficient to provide 50 feet from the centerline of Bellingrath Road would normally be recommended. As stated earlier, the site is already extensively developed. The proposed Lot 2 encompasses the entire Bellingrath Road frontage, and this is also the area where the church is already developed. The plat does not depict the existing development, however, City of Mobile GIS and aerial photo data shows existing church buildings as close as 10 feet to the existing right-of-way line. Because of this, dedication would seem to be inappropriate for areas where buildings exist within the area that would need to be dedicated. Instead, depiction of a 45-foot setback line (20 feet for future right-of-way and the standard 25 feet) would seem to be appropriate.

Additionally, the site also has frontage along Old Military Road, a minor street not provided with curb and gutter. Section V.B.14 of the Subdivision Regulations requires a right-of-way of 60 feet for all minor streets which are not provided with curb and gutter. As stated previously, the site is currently developed. As such, a greater setback line in lieu of dedication may be

appropriate. Therefore, depiction of a 35-foot setback line (10 feet for future right-of-way and the standard 25 feet) should be required.

Compliance with Section V.B.16 of the Subdivision Regulations regarding curb radii will also be required. As the angle of intersection at Bellingrath Road and Old Military Road is less than 60 degrees, the curb radii required may be more than the standard 20 feet. City Traffic Engineering should be consulted in reference to this requirement.

As Bellingrath Road is a planned major street, access management is a concern. Because the proposed Lot 2 is already developed, it should be limited the existing curb cuts. Likewise, the proposed Lot 2 should be limited to the existing curb cuts to Old Military Road. Any changes to the size, location, and/or design of any of the curb cuts should be approved by City of Mobile Traffic Engineering and conform to AASHTO standards. The proposed Lot 1 should be limited to one curb cut, with the size, location, and design of all curb cuts to be approved by City of Mobile Traffic Engineering and conform to AASHTO standards. City approval for curb cuts is required as the location is now within the City of Mobile.

The proposed lot meets the minimum lot size and public right-of-way frontage requirements of the Subdivision Regulations.

The 25-foot minimum building setback is shown on the plat and should be retained except in areas where a greater setback will be required.

The geographic area defined by the city of Mobile and its planning jurisdiction, including this site, may contain Federally-listed threatened or endangered species as well as protected non-game species. Development of the site must be undertaken in compliance with all local, state and Federal regulations regarding endangered, threatened or otherwise protected species. A note on preliminary plat reflects this requirement, and should also appear on the final plat.

As this site is in transition between City and County land development regulations, any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7 of the Subdivision Regulations. A note regarding this requirement should also appear on the final plat.

The site will have to comply with the City of Mobile storm water and flood control ordinances. The note on the preliminary plat regarding this requirement should also appear on the final plat.

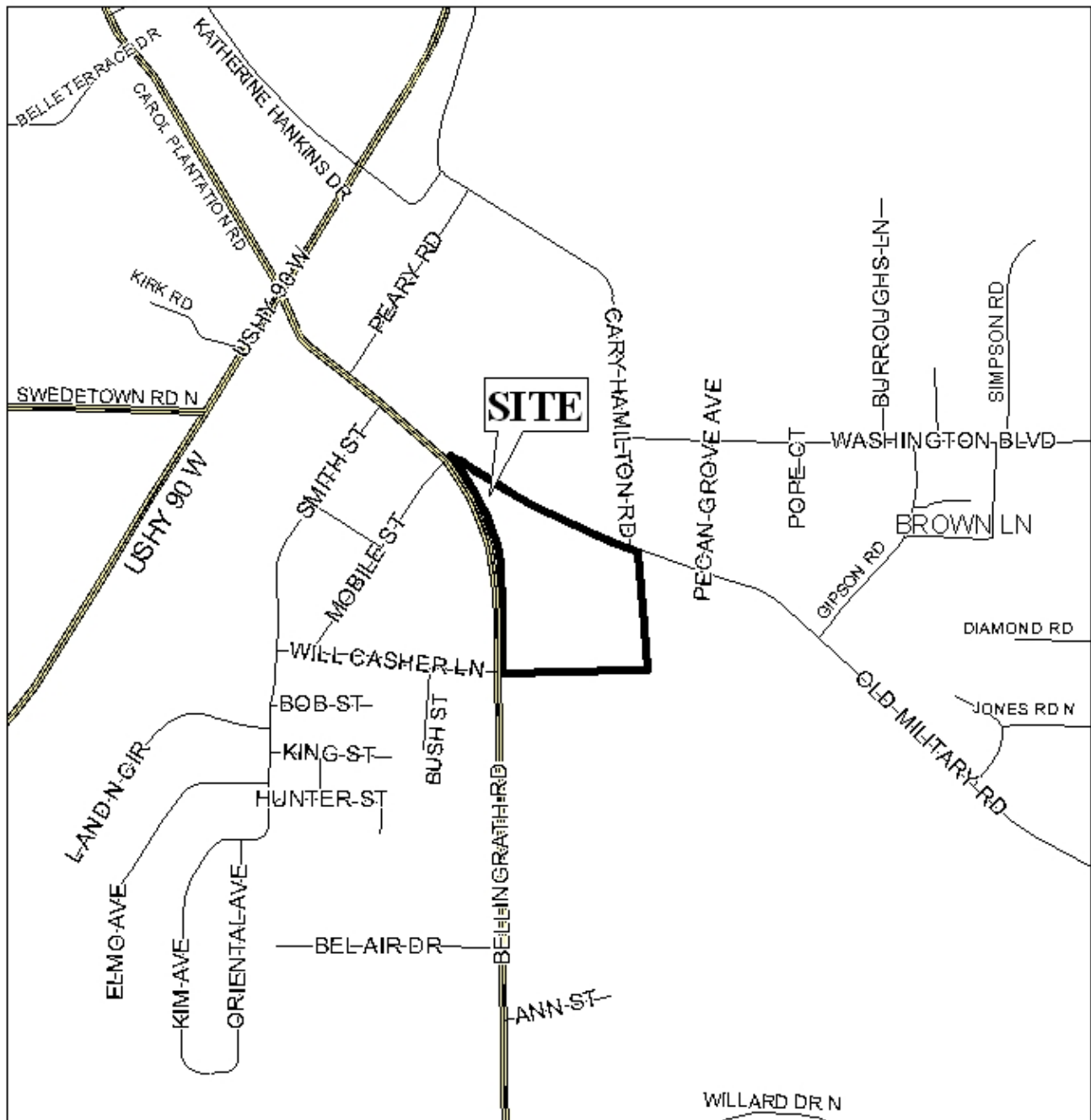
The lot size information on the preliminary plat should be retained for the final plat.

Based upon the preceding, the application is recommended for Tentative Approval, subject to the following conditions:

- 1) placement of a note on the final plat stating that the proposed Lot 1 is limited to one curb cut to Old Military Road with the size, location, and design of all curb cuts to be approved by City of Mobile Traffic Engineering and conform to AASHTO standards;
- 2) placement of a note on the final plat stating that the proposed Lot 2 limited to the existing curb cuts to Bellingrath Road and Old Military Road with any changes to the size, location, and/or design of any of the curb cuts to be approved by City of Mobile Traffic Engineering and conform to AASHTO standards;
- 3) Depiction of a 45-foot setback along Bellingrath Road;

- 4) Depiction of a 35-foot setback along Old Military Road;
- 5) Compliance with Section V.B.16 of Subdivision Regulations regarding curb radii and consultation with City traffic engineering about how much dedication will be needed;
- 6) Depiction of the 25-foot minimum building setback line along all other street frontages except in areas where a 45-foot setback will be required;
- 7) Provision of a note on the final plat stating that any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.7. of the Subdivision Regulations. A note regarding this requirement should also appear on the final plat;
- 8) Compliance with engineering comments: *Must comply with all storm water and flood control ordinances. Any work performed in the right of way will require a right of way permit. Must provide detention for any impervious area added to the site in excess of 4,000 square feet. Any areas receiving public water will require a drainage easement. The size and location of any required drainage easement will require the approval of the City Engineering Department;*
- 9) Provision of a note on the final plat stating that approval of all applicable Federal, state and local agencies is required for endangered, threatened or otherwise protected species, if any, prior to the issuance of any permits or land disturbance activities.
- 10) Retention of the labeling of each lot with its size in square feet, or placement of a table on the plat with the same information;
- 11) Approval of all applicable federal, state and local agencies prior to the issuance of any permits or land disturbance activities; and
- 12) Compliance with all municipal codes and ordinances.

## LOCATOR MAP



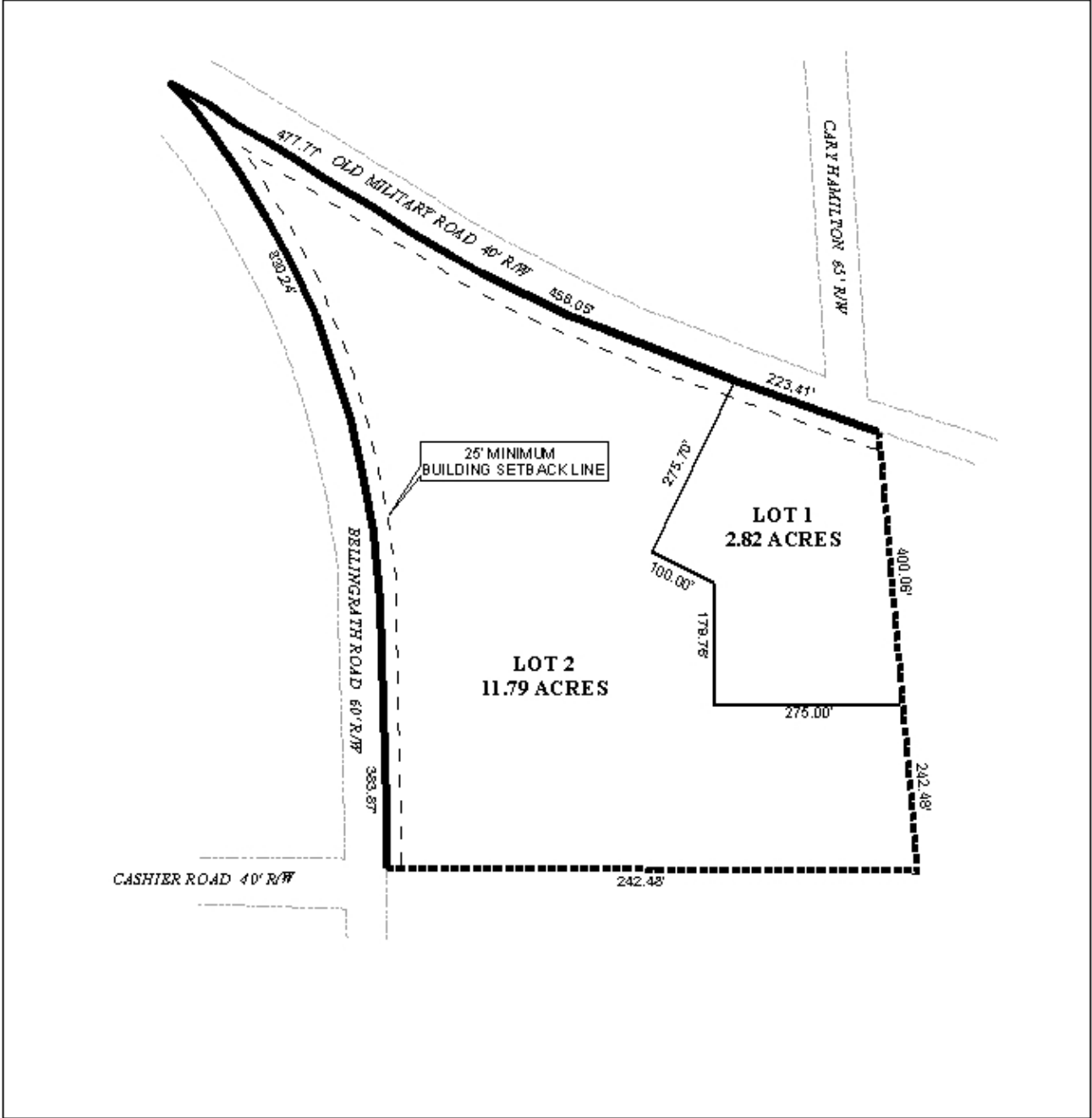
APPLICATION NUMBER 3 DATE January 22, 2008

APPLICANT First Baptist Church of Theodore Subdivision, Resubdivision Parcel A

REQUEST Subdivision



## DETAIL SITE PLAN



APPLICATION NUMBER 3 DATE January 22, 2009 N

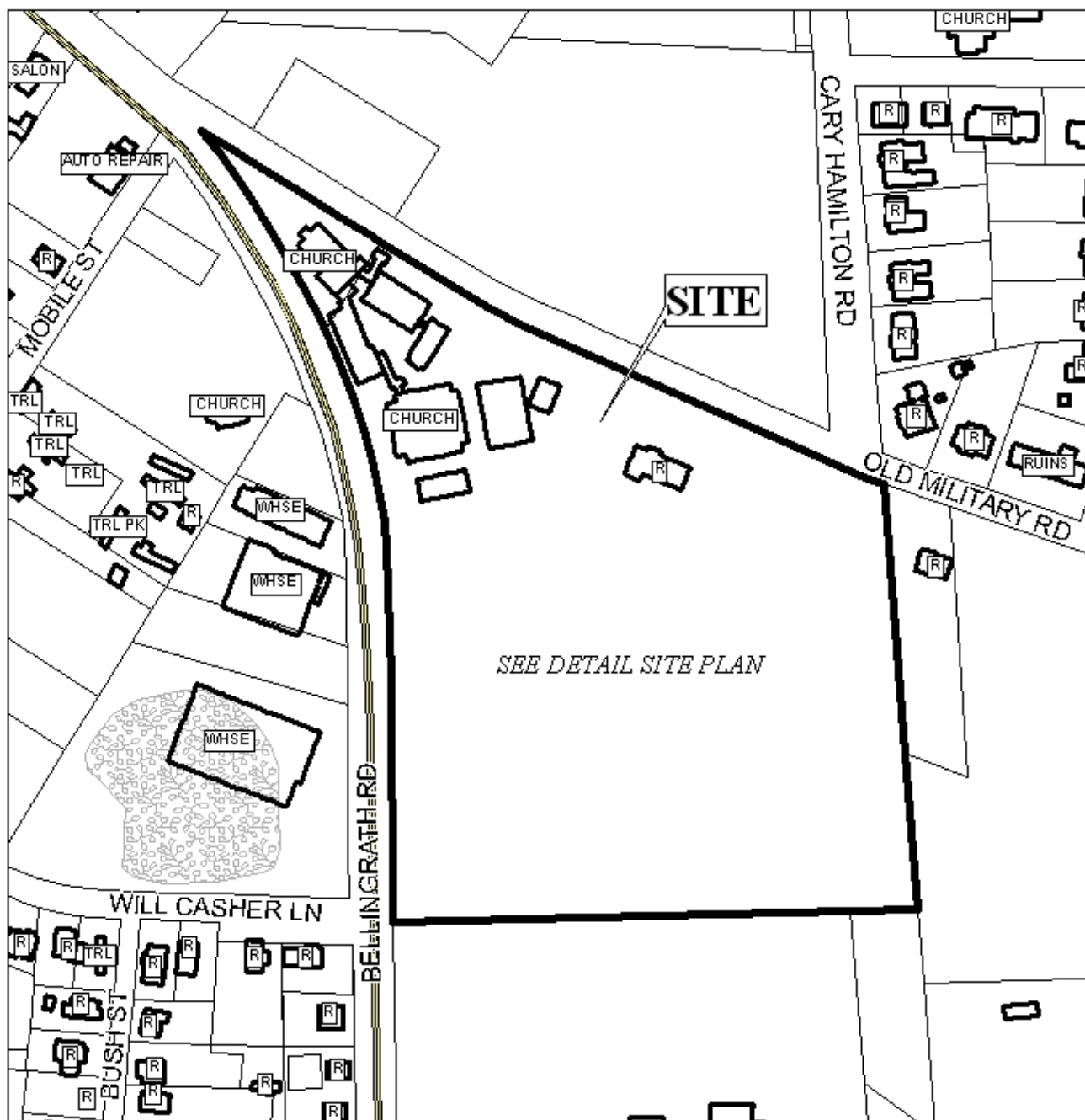
APPLICANT First Baptist Church of Theodore Subdivision, Resubdivision Parcel A

REQUEST \_\_\_\_\_ Subdivision \_\_\_\_\_



NTS

# FIRST BAPTIST CHURCH OF THEODORE SUBDIVISION, RESUBDIVISION PARCEL A



APPLICATION NUMBER 3 DATE January 22, 2008

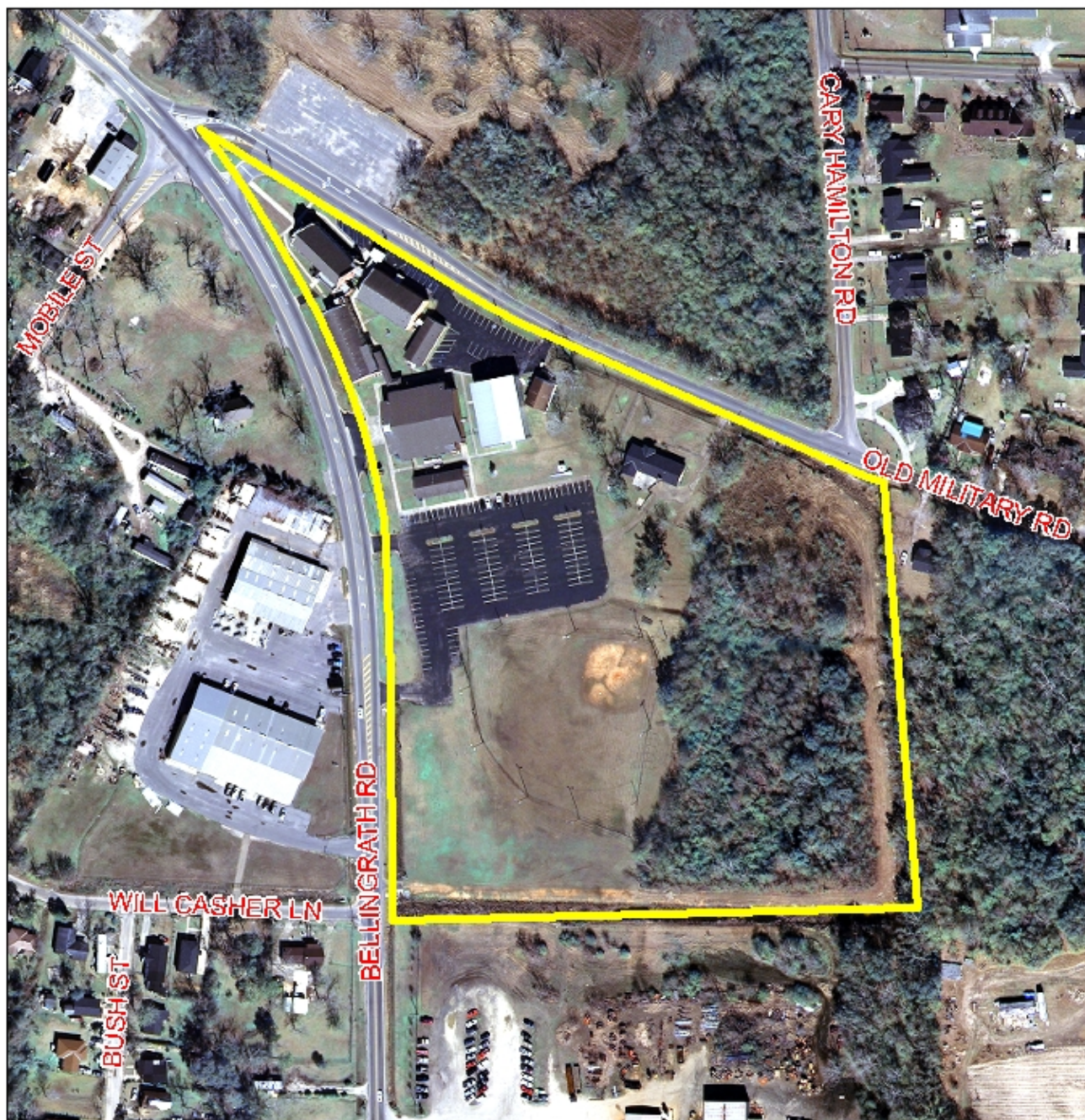
LEGEND

R-1	R-2	R-3	R-A	R-B	H-B	T-B	B-1	LB-2	B-2	B-3	B-4	B-5	I-1	I-2
-----	-----	-----	-----	-----	-----	-----	-----	------	-----	-----	-----	-----	-----	-----





FIRST BAPTIST CHURCH OF THEODORE SUBDIVISION,  
RESUBDIVISION PARCEL A



APPLICATION NUMBER 3 DATE January 22, 2008

