

## **ESFELLER SUBDIVISION**

Engineering Comments: Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.

Fire-Rescue Department Comments: Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).

MAWSS Comments: No comments.

The preliminary plat illustrates the proposed 1-lot, 132.3± acre subdivision which is located on the North side of Padgett Switch Road, extending to the South side of U.S. Highway 90 West, within the Planning Jurisdiction. The applicant states only that the subdivision is served by an individual septic system.

The purpose of this application is to create one legal lot of record from nine metes-and-bounds parcels and a vacated public right-of-way.

The applicant requested and was granted Vacation of public Right-of-Way at the Commission's May 7<sup>th</sup> meeting. The condition of approval of the Vacation was once vacated, the property is to be combined with adjacent properties owned by the applicant via a one-lot Subdivision. The Vacation declaration has been recorded; hence this application to meet the condition.

The site fronts Padgett Switch Road, a component of the Major Street Plan, with a planned 100' right-of-way. As the current right-of-way width along the site is 80', dedication sufficient to provide 50' from the centerline of Padgett Switch Road would be required.

The 25' minimum building setback line is not depicted on the preliminary plat; therefore, the plat should be revised to indicate a 25' minimum building setback line along Padgett Switch Road, as measured from any required dedication.

In accordance with the Subdivision Regulations, the proposed lot exceeds the minimum lot size requirements; however, the plat should be revised to label the lot with its size in both square feet and acres, after any required dedication, or a table should be furnished on the Final Plat providing the same information.

As a means of access management, a note should be placed on the Final Plat stating that the proposed lot is limited to two curb cuts to Padgett Switch Road, with the size, design and location to be approved by Mobile County Engineering and conform to AASHTO standards. Along the South, the site fronts an unopened public right-of-way not maintained by the County. Access to this right-of-way should be denied until such time that it is constructed to County standards.

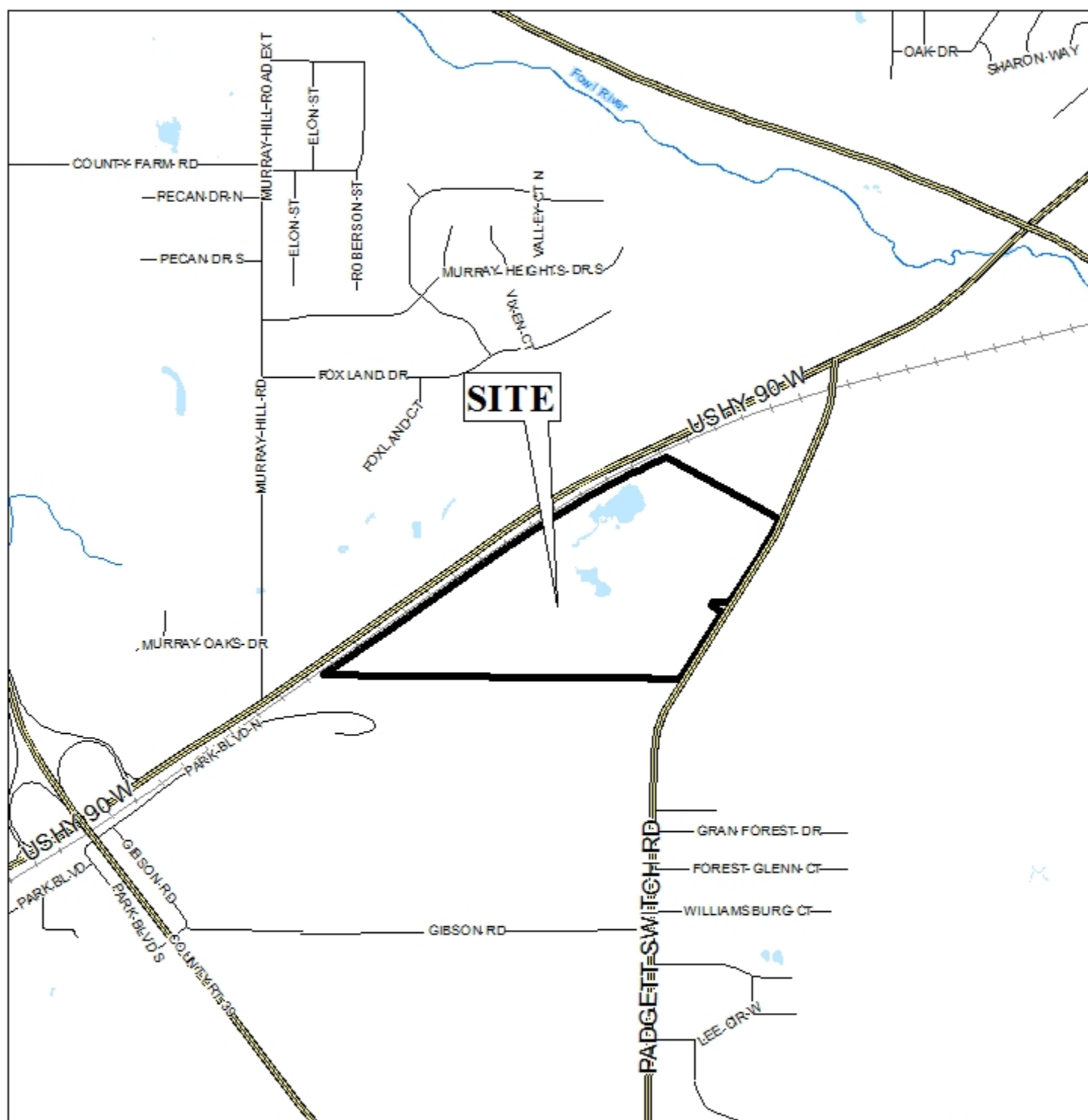
This site is located in the County, therefore any lots which are developed commercially and adjoin residentially developed property must provide a buffer, in compliance with Section V.A.8. of the Subdivision Regulations. A note stating such should be placed on the Final Plat, if approved.

The plat contains signature blocks for the City Engineer and Traffic Engineer. As these entities do not sign Subdivision plats outside the City limits, these blocks should be removed from the plat. The plat does not contain a block for the County Engineering Department to sign and it should be revised to contain such. The Mobile City Planning Commission signature block should be retained on the Final Plat.

Based upon the preceding, the application is recommended for Tentative Approval, subject to the following conditions:

- 1) dedication sufficient to provide 50' from the centerline of Padgett Switch Road;
- 2) revision of the plat to illustrate the 25' minimum building setback line along Padgett Switch Road as measured from any required dedication;
- 3) revision of the plat to label the lot with its size in square feet and acres after any required dedication, or the furnishing of a table on the Final Plat providing the same information;
- 4) placement of a note on the Final Plat stating that the lot is limited to two curb cuts to Padgett Switch Road, with the size, design and location to be approved by Mobile County Engineering and conform to AASHTO standards;
- 5) placement of a note on the Final Plat stating that the lot is denied access to the unopened public right-of-way along the South side of the lot until such time that the right-of-way is developed to County standards;
- 6) placement of a note on the Final Plat stating that, since the site is developed commercially, a buffer, in compliance with Section V.A.8. of the Subdivision Regulations must be provided where the site adjoins residentially developed property;
- 7) revision of the plat to remove the signature blocks for City Engineering and Traffic Engineering;
- 8) revision of the plat to add a signature block for the Mobile County Engineering Department;
- 9) compliance with the Engineering comments: *(Must comply with the Mobile County Flood Damage Prevention Ordinance. Development shall be designed to comply with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances, and requiring submission of certification from a licensed engineer certifying that the design complies with the storm water detention and drainage facility requirements of the City of Mobile storm water and flood control ordinances prior to the issuance of any permits.); and*
- 10) compliance with the Fire-Rescue Department comments: *[Projects outside the City Limits of Mobile, yet within the Planning Commission Jurisdiction fall under the State or County Fire Code (2012 IFC).]*

# LOCATOR MAP



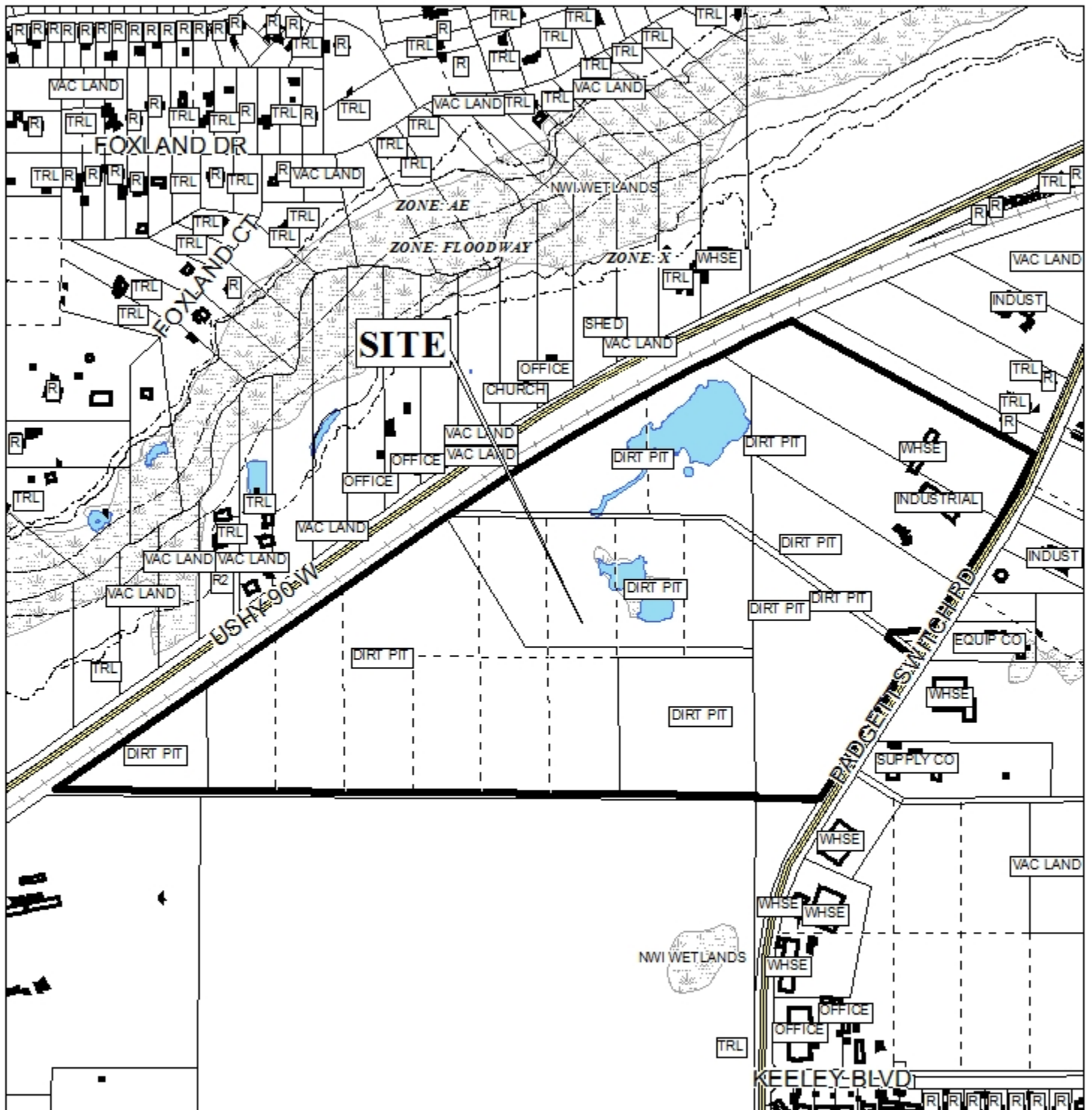
APPLICATION NUMBER 3 DATE September 17, 2015

APPLICANT Esfeller Subdivision

REQUEST Subdivision



# ESFELLER SUBDIVISION



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|     |     |      |     |     |      |       |      |
|-----|-----|------|-----|-----|------|-------|------|
| R-A | R-3 | T-B  | B-2 | B-5 | MUN  | SD-WH | T5.1 |
| R-1 | R-B | B-1  | B-3 | I-1 | OPEN | T3    | T5.2 |
| R-2 | H-B | LB-2 | B-4 | I-2 | SD   | T4    | T6   |





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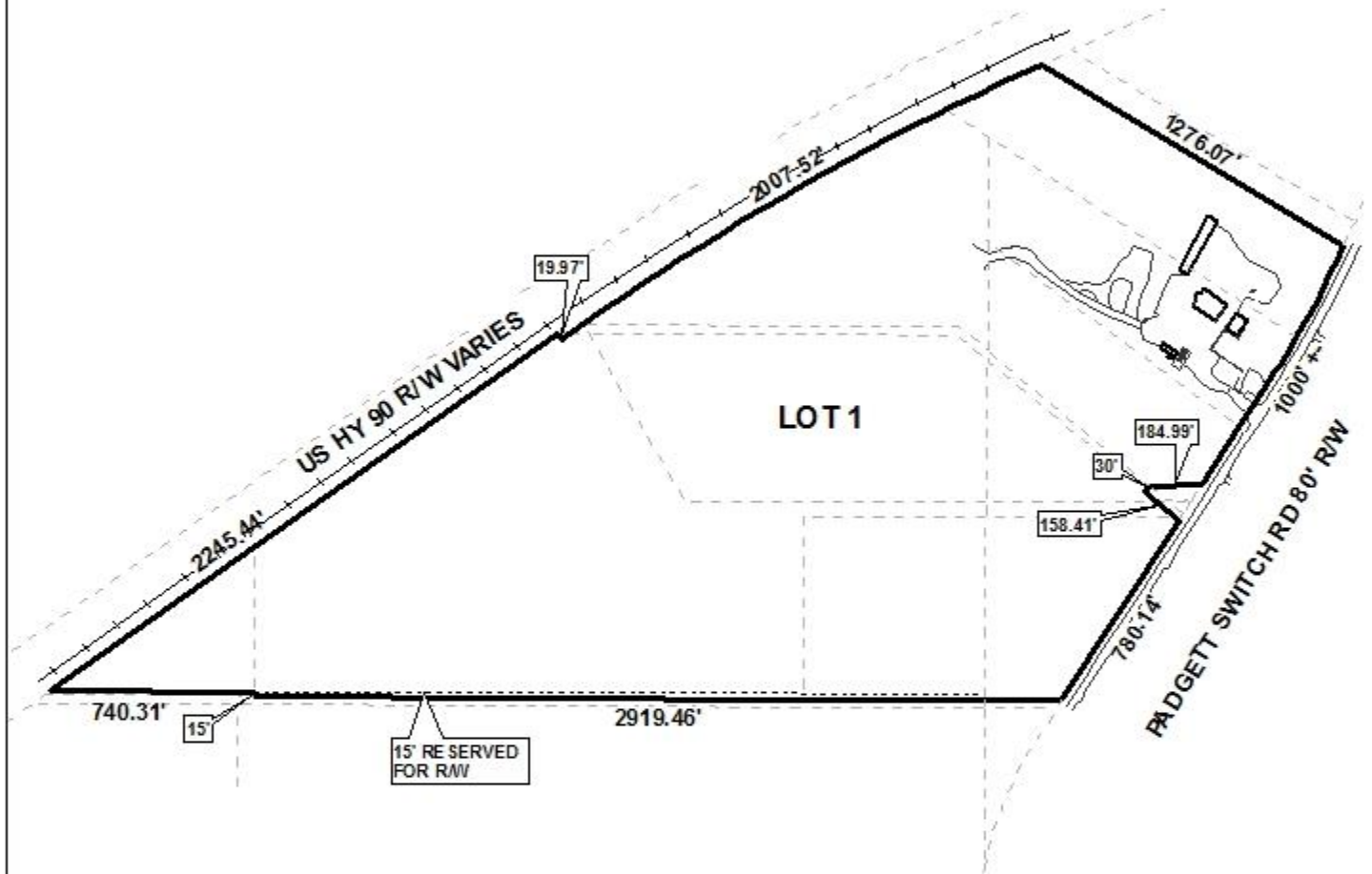


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# DETAIL SITE PLAN



APPLICATION NUMBER 3 DATE September 17, 2015

APPLICANT Esfeller Subdivision

REQUEST Subdivision

