

DOWNTOWN WEST SUBDIVISION, UNIT 2

RESUBDIVISION OF LOTS 7 & 8

Engineering Comments:

1. Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). Application and/or questions can be sent to rightofway.permits@cityofmobile.org.
2. A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work.
3. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control); the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control.
4. The proposed development must comply with all Engineering Department design requirements and Policy Letters.
5. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. Add The Owner/Developer is responsible for acquiring all of the necessary permits and approvals. Add to perform any work in the ROW, a right of way permit is required.

Traffic Engineering Comments: Site is limited to no more than two curb cuts to Downtowner Loop N with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.

Urban Forestry Comments: Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).

Fire Department Comments: All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance (2012 International Fire Code).

MAWWS Comments: MAWSS has water and sewer services available, but a Capacity Assurance application for additional sewer service has not been applied for. MAWSS cannot guarantee additional sewer service until a Capacity application is approved by Volkert Engineering Inc.

The plat illustrates the proposed 1-lot, 1.1± acre subdivision, which is located on the South side of Downtowner Loop North, 180'± East of Downtowner Loop East, in Council District 5. The applicant states the site is served by city water and sewer services.

The purpose of this application is to combine two existing legal lots of record, initially approved by the Planning Commission at its July 6, 1967 meeting, into one legal lot of record.

The proposed lot has frontage along Downtowner Loop North, a minor street with curb and gutter. A compliant 60' right-of-way is depicted and, as such, no dedication is required.

The site has two curb cuts, one of which is currently shared between each lot. Combining these lots increases the proposed lot width to 199'±, therefore this site should be limited to the existing number of curb cuts, with any changes in their size, design, and location to be approved by Traffic Engineering and conform to AASHTO standards.

The proposed lot meets the minimum area and width requirements of the Subdivision Regulations. The plat should be revised to label the lot with its size in both square feet and acres or a table should be furnished on the Final Plat providing the same information. The plat should also be revised to illustrate the 25' minimum building setback line along Downtowner Loop North.

It should be noted that the existing lot 7 is partially developed with a paved parking area. Therefore any additional site improvements of the proposed lot are subject to the acquisition of the appropriate land disturbance and building permits, and should comply with all applicable codes and ordinances.

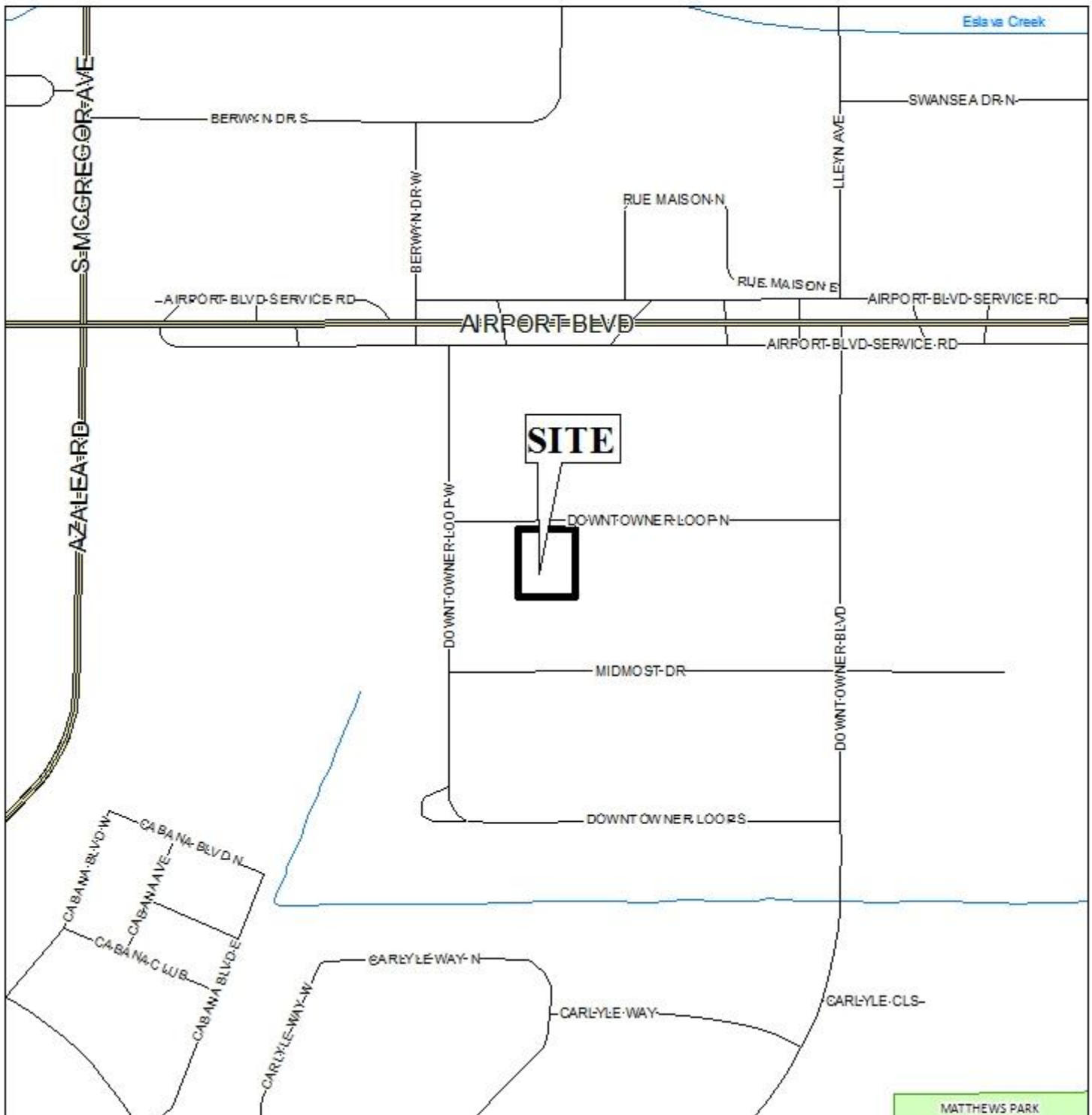
The plat meets the minimum requirements of the Subdivision Regulations and is recommended for tentative approval, subject to the following conditions:

- 1) placement of a note on the Final Plat stating that the Lot is limited to its existing curb cuts, with any changes in size, location, or design to be approved by Traffic Engineering and conform to AASHTO standards;
- 2) revision of the plat to label each lot with its size in both square feet and acres, after any required dedication, or the furnishing of a table on the Final Plat providing the same information;
- 3) revision of the plat to illustrate the 25' minimum building setback line along Downtowner Loop North;
- 4) compliance with Engineering comments: (A. *Any work performed in the existing ROW (right-of-way) such as driveways, sidewalks, utility connections, grading, drainage, irrigation, or landscaping will require a ROW permit from the City of Mobile Engineering Department (208-6070) and must comply with the City of Mobile Right-of-Way Construction and Administration Ordinance (Mobile City Code, Chapter 57, Article VIII). Application and/or questions can be sent to rightofway.permits@cityofmobile.org.* B. *A Land Disturbance Permit application shall be submitted for any proposed land disturbing activity with the property. A complete set of construction plans including, but not limited to, drainage, utilities, grading, storm water detention systems, paving, and all*

above ground structures, will need to be included with the Land Disturbance permit. This Permit must be submitted, approved, and issued prior to beginning any of the construction work. C. Any and all proposed land disturbing activity within the property will need to be submitted for review and be in conformance with Mobile City Code, Chapter 17, Storm Water Management and Flood Control; the City of Mobile, Alabama Flood Plain Management Plan (1984); and, the Rules For Erosion and Sedimentation Control and Storm Water Runoff Control. D. The proposed development must comply with all Engineering Department design requirements and Policy Letters. E. Add a note to the Plat stating that the approval of all applicable federal, state, and local agencies (including all storm water runoff, wetland and floodplain requirements) will be required prior to the issuance of a Land Disturbance permit. Add The Owner/Developer is responsible for acquiring all of the necessary permits and approvals. Add to perform any work in the ROW, a right of way permit is required.)

- 5) *compliance with Traffic Engineering comments: (Site is limited to no more than two curb cuts to Downtowner Loop N with size, location and design to be approved by Traffic Engineering and conform to AASHTO standards.)*
- 6) *compliance with Urban Forestry comments: (Property to be developed in compliance with state and local laws that pertain to tree preservation and protection on both city and private properties (State Act 61-929 and City Code Chapters 57 and 64).)*
- 7) *compliance with Fire Department comments: (All projects within the City Limits of Mobile shall comply with the requirements of the City of Mobile Fire Code Ordinance. (2012 International Fire Code)); and*
- 8) *completion of the subdivision process prior to any requests for new construction.*

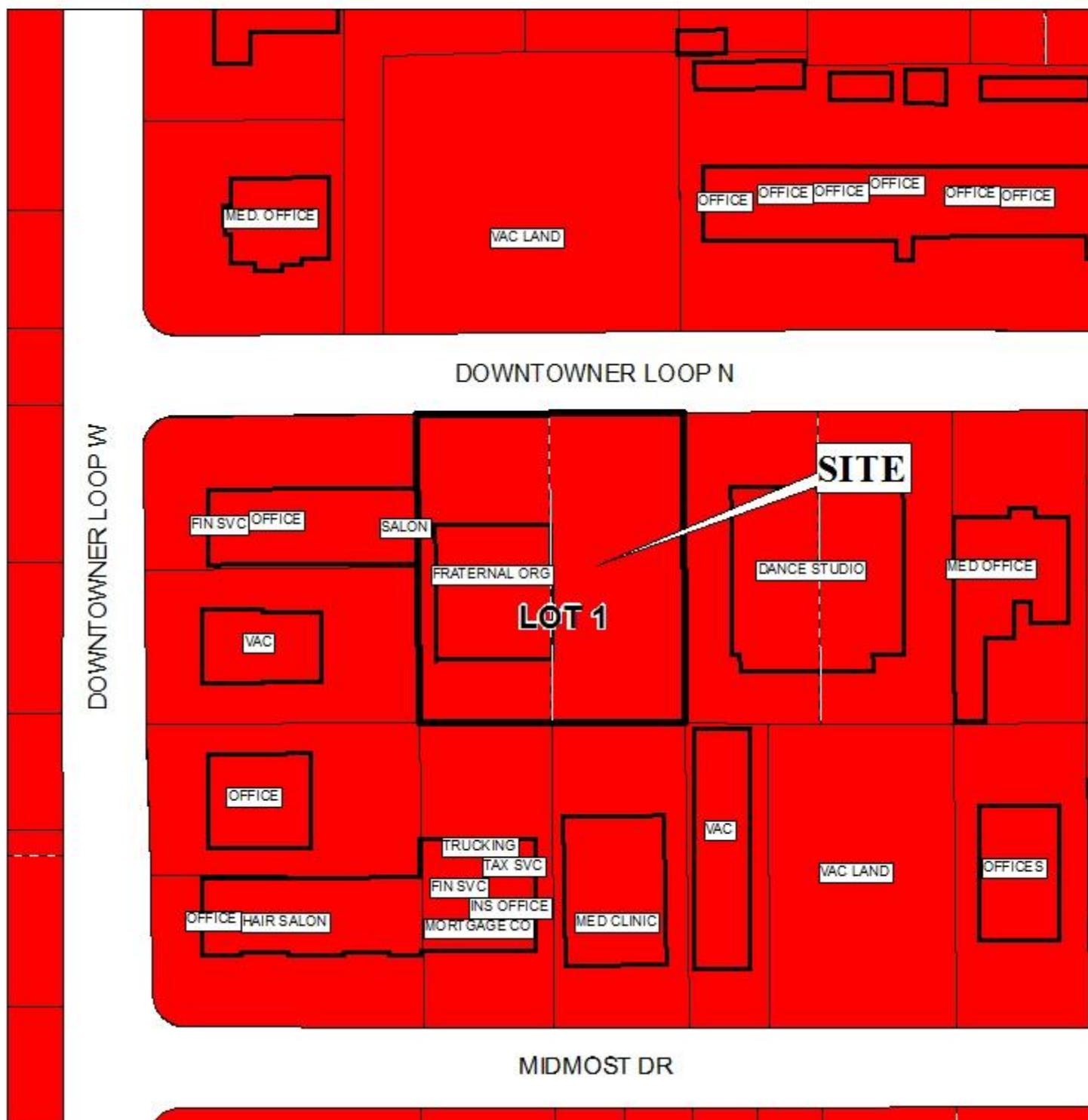
LOCATOR MAP



APPLICATION NUMBER 3 DATE June 18, 2015
 APPLICANT Downtown West Subdivision, Unit 2, A Resubdivision of Lots 7 & 8
 REQUEST Subdivision



DOWNTOWN WEST SUBDIVISION, UNIT 2, A RESUBDIVISION OF LOTS 7 & 8



APPLICATION NUMBER 3 DATE June 18, 2015

R-A	R-3	T-B	B-2	B-5	MUN	SD-WH	T5.1
R-1	R-B	B-1	B-3	I-1	OPEN	T3	T5.2
R-2	H-B	LB-2	B-4	I-2	SD	T4	T6



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